



U.S. Department of Veterans Affairs

PROJECT LOCATION:

MARTINSBURG VA MEDICAL CENTER

510 BUTLER AVENUE, MARTINSBURG, WV 25405

PROJECT TITLE:

RENOVATE/UPGRADE NFS KITCHEN - BUILDING 500 BASEMENT

BUILDING NUMBER: **500**

ARCHITECT/ENGINEER OF RECORD:

BANCROFT ARCHITECTS + ENGINEERS

3300 Dundee Road
Northbrook, IL 60062
T: 847.952.9362
F: 847.952.9403
www.bancroft-ae.com

KITCHEN EQUIPMENT CONSULTANT

COMMERCIAL KITCHEN CONSULTING LLC

747 CONKLIN ROAD
BINGHAMPTON, NY 13903
T: 607.217.5389
E: mberard@ckc-llc.net

CIVIL ENGINEERING

GWIN, DOBSON & FOREMAN, INC.

3121 FAIRWAY DRIVE,
ALTOONA, PA 16602
T: 814.943-5314
E: kbeldin@gdfengineers.com

CONTRACT NUMBER: 36C24519C0171
STATION PROJECT NUMBER: 613-19-103
BAE PROJECT NUMBER: 18-133



Martinsburg VA Medical Center
510 Butler Avenue | Martinsburg, VA 25405

Renovate/Upgrade
NFS Kitchen
Building 500

VA Contract No. 36C24519C0171
Station Project No. 613-19-103
Bancroft-AE Project No. 18-133

BID DOCUMENTS SUBMITTAL

SIGNATURE SPACES:

Chief of Service Annemarie Price	Women's Health Teresa Wenner	Privacy Officer Alice Walton
OIT Anthony Coulter, David Oakland, or Rusty Shirley	Facility Director Kenneth W. Allensworth	

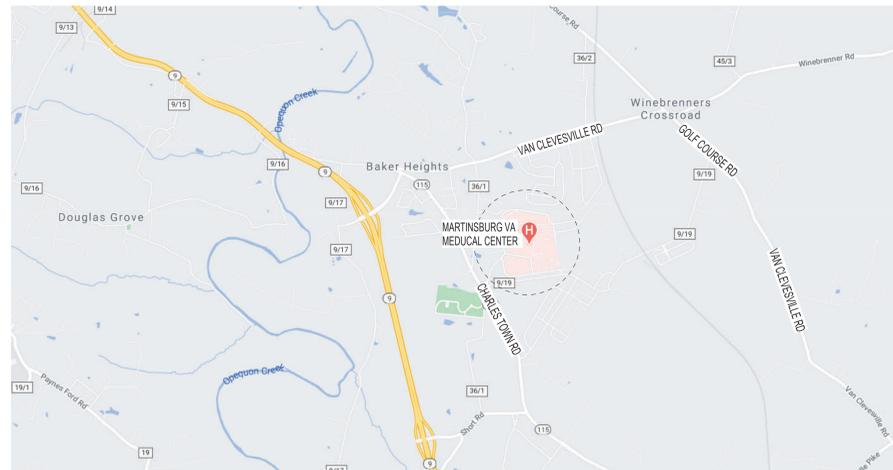


BID DOCUMENTS SUBMITTAL November 24, 2021

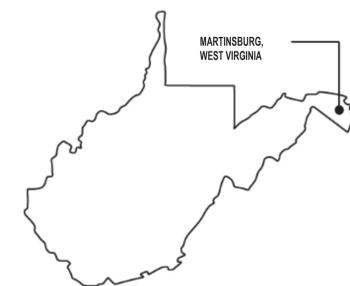
PROJECT AREA
Bldg. 500 Martinsburg VA Medical Center



3 CAMPUS LOCATION PHOTO
NOT TO SCALE



2 REGIONAL LOCATION MAP
NOT TO SCALE



1 STATE LOCATION MAP
NOT TO SCALE

C:\Users\mberard\Documents\18-133_Architectural_Central_dme\Bids\UPAS.dwg

VA FORM 08-6231

BID DOCUMENTS SUBMITTAL	11/24/2021
100% CONSTRUCTION DOCUMENTS SUBMISSION	07/23/2021
95% CONSTRUCTION DOCUMENTS SUBMISSION	02/12/2021
60% DESIGN DEVELOPMENT SUBMISSION	09/11/2020
30% SCHEMATIC DESIGN SUBMISSION	05/24/2020
Revisions:	Date:

CONSULTANT

ARCHITECT/ENGINEER OF RECORD
700 Nicholas Blvd, Suite 300 Elk Grove Village, IL 60007 T: 847.952.9362 F: 847.952.9403 www.bancroft-ae.com

Office of Construction and Facilities Management
VA U.S. Department of Veterans Affairs

Drawing Title COVER SHEET
Approved: Project Director

Phase BID DOCUMENTS SUBMITTAL
FULLY SPRINKLERED

Project Title RENOVATE/UPGRADE NFS KITCHEN - BUILDING 500 BASEMENT
Location 510 BUTLER AVENUE, MARTINSBURG, WV 25405
Issue Date 11/24/21
Checked YH
Drawn DMK/ALR

Project Number 613-19-103
Building Number 500
Drawing Number G001

DRAWING INDEX						
SHEET NUMBER	SHEET TITLE	DRAWN BY	30%	60%	95%	100% BID
00-GENERAL						
G001	COVER SHEET	BAE	*	*	*	*
G002	DRAWING INDEX	BAE	*	*	*	*
G003	DRAWING INDEX	BAE	*	*	*	*
G1001	GENERAL CONTRACTOR & BASIS OF DESIGN PROTOCOL NOTES	BAE	*	*	*	*
G1002	GENERAL - PROTECTION PROTOCOL, SCOPE OF WORK AND MISC. NOTES	BAE	*	*	*	*
G1003	GENERAL - DEMOLITION NOTES	BAE	*	*	*	*
G1004	GENERAL - ABBREVIATIONS & SYMBOLS	BAE	*	*	*	*
G1011	GENERAL - CODE AND BUILDING INFORMATION	BAE	*	*	*	*
G1301	GENERAL - LIFE SAFETY PLAN - BASEMENT FLOOR	BAE	*	*	*	*
G1401	GENERAL - PHASING AND ICRA PLAN - BASEMENT FLOOR	BAE	*	*	*	*
G1402	GENERAL - TYPICAL ICRA DRAWING CLASS IV	BAE	*	*	*	*
G1403	GENERAL - PHASING/SEQUENCE OF WORK CHART	BAE	*	*	*	*
GC101	GENERAL - CONSTRUCTION ROUTING AND STAGING PLANS	BAE	*	*	*	*
GC201	BUILDING ORIENTATION PLANS	BAE	*	*	*	*
01-CIVIL						
GS101	EXISTING SITE AND DEMOLITION PLAN	GDF	*	*	*	*
GS102	PROPOSED SITE PLAN	GDF	*	*	*	*
GS103	GREASE INTERCEPTOR PROFILE, NOTES AND DETAIL	GDF	*	*	*	*
GS104	CONCRETE PAVEMENT RESTORATION NOTES AND DETAIL	GDF	*	*	*	*
02-ARCHITECTURAL						
AD100	ARCHITECTURAL - OVERALL DEMOLITION PLAN, BASEMENT FLOOR	BAE	*	*	*	*
AD100.1	ARCHITECTURAL - ENLARGED DEMOLITION PLAN, BASEMENT FLOOR - AREA 1	BAE	*	*	*	*
AD100.2	ARCHITECTURAL - ENLARGED DEMOLITION PLAN, BASEMENT FLOOR - AREA 2	BAE	*	*	*	*
AD100.3	ARCHITECTURAL - ENLARGED DEMOLITION PLAN, BASEMENT FLOOR - AREA 3	BAE	*	*	*	*
AD100.4	ARCHITECTURAL - ENLARGED DEMOLITION PLAN, BASEMENT FLOOR - AREA 4	BAE	*	*	*	*
ACD100	ARCHITECTURAL - OVERALL REFLECTED CEILING DEMOLITION PLAN, BASEMENT FLOOR	BAE	*	*	*	*
ACD100.1	ARCHITECTURAL - REFLECTED CEILING DEMOLITION PLAN, BASEMENT FLOOR - AREA 1	BAE	*	*	*	*
ACD100.2	ARCHITECTURAL - REFLECTED CEILING DEMOLITION PLAN, BASEMENT FLOOR - AREA 2	BAE	*	*	*	*
ACD100.3	ARCHITECTURAL - REFLECTED CEILING DEMOLITION PLAN, BASEMENT FLOOR - AREA 3	BAE	*	*	*	*
ACD100.4	ARCHITECTURAL - REFLECTED CEILING DEMOLITION PLAN, BASEMENT FLOOR - AREA 4	BAE	*	*	*	*
AI100	ARCHITECTURAL - OVERALL UNDERGROUND FLOOR DEPRESSION	CKC	*	*	*	*
A100	ARCHITECTURAL - OVERALL FLOOR PLAN, BASEMENT FLOOR	BAE	*	*	*	*
A100.1	ARCHITECTURAL - PLAN, BASEMENT FLOOR - AREA 1	BAE	*	*	*	*
A100.2	ARCHITECTURAL - PLAN, BASEMENT FLOOR - AREA 2	BAE	*	*	*	*
A100.3	ARCHITECTURAL - PLAN, BASEMENT FLOOR - AREA 3	BAE	*	*	*	*
A100.4	ARCHITECTURAL - PLAN, BASEMENT FLOOR - AREA 4	BAE	*	*	*	*
AR100	ARCHITECTURAL - OVERALL ROOF PLAN	BAE	*	*	*	*
AC100	ARCHITECTURAL - OVERALL REFLECTED CEILING PLAN, BASEMENT FLOOR	BAE	*	*	*	*
AC100.1	ARCHITECTURAL - ENLARGED REFLECTED CEILING PLAN, BASEMENT FLOOR - AREA 1	BAE	*	*	*	*
AC100.2	ARCHITECTURAL - ENLARGED REFLECTED CEILING PLAN, BASEMENT FLOOR - AREA 2	BAE	*	*	*	*
AC100.3	ARCHITECTURAL - ENLARGED REFLECTED CEILING PLAN, BASEMENT FLOOR - AREA 3	BAE	*	*	*	*
AC100.4	ARCHITECTURAL - ENLARGED REFLECTED CEILING PLAN, BASEMENT FLOOR - AREA 4	BAE	*	*	*	*
A411	ARCHITECTURAL - INTERIOR ELEVATIONS	BAE	*	*	*	*
A412	ARCHITECTURAL - INTERIOR ELEVATIONS	BAE	*	*	*	*
A413	ARCHITECTURAL - INTERIOR ELEVATIONS	BAE	*	*	*	*
A414	ARCHITECTURAL - INTERIOR ELEVATIONS AND ENLARGED PLANS	BAE	*	*	*	*
A415	ARCHITECTURAL - EXTERIOR ELEVATIONS	BAE	*	*	*	*
A501	ARCHITECTURAL - PARTITION TYPES AND DETAILS	BAE	*	*	*	*
A502	ARCHITECTURAL - PLAN DETAILS	BAE	*	*	*	*
A503	ARCHITECTURAL - WALL SECTION AND DETAILS	BAE	*	*	*	*
A511	ARCHITECTURAL - CEILING DETAILS	BAE	*	*	*	*
A512	ARCHITECTURAL - WALL PROTECTION AND FINISH DETAILS	BAE	*	*	*	*
A521	ARCHITECTURAL - MILLWORK AND ACOUSTIC PANEL DETAILS	BAE	*	*	*	*
A522	OPERABLE PARTITION ENLARGED PLAN AND DETAILS & HERB WALL DETAILS	BAE	*	*	*	*
A601	ARCHITECTURAL - DOOR AND WINDOW SCHEDULE AND DETAILS	BAE	*	*	*	*
03-INTERIOR						
IQ100	INTERIORS - OVERALL FURNITURE PLAN, BASEMENT FLOOR	BAE	*	*	*	*
IQ100.1	INTERIORS - ENLARGED FURNITURE PLAN, BASEMENT FLOOR - AREA 1	BAE	*	*	*	*
IQ100.2	INTERIORS - ENLARGED FURNITURE PLAN, BASEMENT FLOOR - AREA 2	BAE	*	*	*	*
IQ100.3	INTERIORS - ENLARGED FURNITURE PLAN, BASEMENT FLOOR - AREA 3	BAE	*	*	*	*
IQ100.4	INTERIORS - ENLARGED FURNITURE RELOCATION PLAN, BASEMENT FLOOR - AREA 4	BAE	*	*	*	*
IQD100	INTERIORS - OVERALL FURNITURE MOVE PLAN, BASEMENT FLOOR	BAE	*	*	*	*
IF100	INTERIORS - OVERALL FINISH FLOOR PLAN, BASEMENT FLOOR	BAE	*	*	*	*
IF100.1	INTERIORS - ENLARGED FINISH FLOOR PLAN, BASEMENT FLOOR - AREA 1	BAE	*	*	*	*
IF100.2	INTERIORS - ENLARGED FINISH FLOOR PLAN, BASEMENT FLOOR - AREA 2	BAE	*	*	*	*
IF100.3	INTERIORS - ENLARGED FINISH FLOOR PLAN, BASEMENT FLOOR - AREA 3	BAE	*	*	*	*
IF100.4	INTERIORS - ENLARGED FINISH FLOOR PLAN, BASEMENT FLOOR - AREA 4	BAE	*	*	*	*
IG100.1	INTERIORS - ENLARGED SIGNAGE PLAN, BASEMENT FLOOR - AREA 1	BAE	*	*	*	*
IG100.2	INTERIORS - ENLARGED SIGNAGE PLAN, BASEMENT FLOOR - AREA 2	BAE	*	*	*	*
IG100.3	INTERIORS - ENLARGED SIGNAGE PLAN, BASEMENT FLOOR - AREA 3	BAE	*	*	*	*
IG100.4	INTERIORS - ENLARGED SIGNAGE PLAN, BASEMENT FLOOR - AREA 4	BAE	*	*	*	*
I601	INTERIORS - FURNITURE AND EQUIPMENT SCHEDULE	BAE	*	*	*	*
I602	INTERIORS - FURNITURE AND EQUIPMENT RELOCATION SCHEDULE	BAE	*	*	*	*
I611	INTERIORS - ROOM FINISH SCHEDULE	BAE	*	*	*	*
I612	INTERIORS - ROOM FINISH SCHEDULE AND LEGEND	BAE	*	*	*	*
I621	INTERIORS - SIGNAGE SCHEDULE AND MOUNTING HEIGHTS	BAE	*	*	*	*
I622	INTERIORS - SIGNAGE TYPES	BAE	*	*	*	*
I623	INTERIORS - SIGNAGE TYPES	BAE	*	*	*	*
04-FOOD SERVICES						
FSD100	FOOD SERVICES - OVERALL EQUIPMENT MOVE PLAN, BASEMENT FLOOR	CKC	*	*	*	*
FSD100.1	FOOD SERVICES - ENLARGED EQUIPMENT MOVE PLAN, BASEMENT FLOOR - AREA 1	CKC	*	*	*	*
FSD100.2	FOOD SERVICES - ENLARGED EQUIPMENT MOVE PLAN, BASEMENT FLOOR - AREA 2	CKC	*	*	*	*
FSD611	FOOD SERVICES - EXISTING EQUIPMENT SCHEDULE	CKC	*	*	*	*
FS100	FOOD SERVICES - OVERALL EQUIPMENT PLAN, BASEMENT FLOOR	CKC	*	*	*	*
FS100.2	FOOD SERVICES - ENLARGED EQUIPMENT PLAN, BASEMENT FLOOR - AREA 2	CKC	*	*	*	*
FS100.3	FOOD SERVICES - ENLARGED EQUIPMENT PLAN, BASEMENT FLOOR - AREA 3	CKC	*	*	*	*
FSE100.2	FOOD SERVICES - ENLARGED ELECTRICAL POINT OF CONNECTIONS PLAN - AREA 2	CKC	*	*	*	*
FSE100.3	FOOD SERVICES - ENLARGED ELECTRICAL POINT OF CONNECTIONS PLAN - AREA 3	CKC	*	*	*	*
FSM100.2	FOOD SERVICE - ENLARGED HVAC POINT OF CONNECTIONS PLAN - AREA 2	CKC	*	*	*	*
FSP100.2	FOOD SERVICES - ENLARGED PLUMBING POINT OF CONNECTIONS PLAN - AREA 2	CKC	*	*	*	*
FSP100.3	FOOD SERVICES - ENLARGED PLUMBING POINT OF CONNECTIONS PLAN - AREA 3	CKC	*	*	*	*
FS611	FOOD SERVICES - EQUIPMENT SCHEDULE	CKC	*	*	*	*
FS612	FOOD SERVICES - EQUIPMENT SCHEDULE	CKC	*	*	*	*
FS613	FOOD SERVICE EQUIPMENT SCHEDULE	CKC	*	*	*	*
QF-1.1	FOOD SERVICE EQUIPMENT HOOD ITEM #28 DRAWING	CKC	*	*	*	*

DRAWING INDEX						
SHEET NUMBER	SHEET TITLE	DRAWN BY	30%	60%	95%	100% BID
QF-1	FOOD SERVICES EQUIPMENT HOOD ITEM #28 DRAWING	CKC	*	*	*	*
QF-2	FOOD SERVICES EQUIPMENT WALK-IN ITEMS #80, 84, 85, 88 & 93 DRAWINGS	CKC	*	*	*	*
QF-3	FOOD SERVICES EQUIPMENT WALK-IN DOOR SWITCH WIRING DRAWINGS	CKC	*	*	*	*
QF-4	FOOD SERVICES IN ITEM #107 & WIRING DIAGRAMS DRAWING	CKC	*	*	*	*
QF-5	FOOD SERVICES DISHWASHER EXIST. SOILED TABLE, POWER SOAK SINK AND FLOOR PAN DRAWING	CKC	*	*	*	*
QF-6	FOOD SERVICES EQUIPMENT CART WASHER ITEM #3 DRAWING	CKC	*	*	*	*
QF-7	FOOD SERVICES EQUIPMENT - CUSTOM FABRICATED EQUIPMENT	CKC	*	*	*	*
05-FIRE PROTECTION						
FX001	FIRE PROTECTION - GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS	BAE	*	*	*	*
FD100	FIRE PROTECTION - OVERALL DEMOLITION PLAN, BASEMENT FLOOR	BAE	*	*	*	*
FD100.1	FIRE PROTECTION - ENLARGED DEMOLITION PLAN, BASEMENT FLOOR - AREA 1	BAE	*	*	*	*
FD100.2	FIRE PROTECTION - ENLARGED DEMOLITION PLAN, BASEMENT FLOOR - AREA 2	BAE	*	*	*	*
FD100.3	FIRE PROTECTION - ENLARGED DEMOLITION PLAN, BASEMENT FLOOR - AREA 3	BAE	*	*	*	*
FD100.4	FIRE PROTECTION - ENLARGED DEMOLITION PLAN, BASEMENT FLOOR - AREA 4	BAE	*	*	*	*
FX100	FIRE PROTECTION - OVERALL SPRINKLER PLAN, BASEMENT FLOOR	BAE	*	*	*	*
FX100.1	FIRE PROTECTION - ENLARGED SPRINKLER PLAN, BASEMENT FLOOR - AREA 1	BAE	*	*	*	*
FX100.2	FIRE PROTECTION - ENLARGED SPRINKLER PLAN, BASEMENT FLOOR - AREA 2	BAE	*	*	*	*
FX100.3	FIRE PROTECTION - ENLARGED SPRINKLER PLAN, BASEMENT FLOOR - AREA 3	BAE	*	*	*	*
FX100.4	FIRE PROTECTION - ENLARGED SPRINKLER PLAN, BASEMENT FLOOR - AREA 4	BAE	*	*	*	*
FX500	FIRE PROTECTION - DETAILS	BAE	*	*	*	*
06 - PLUMBING						
P001	PLUMBING - GENERAL NOTES, SYMBOLS AND ABBREVIATIONS	BAE	*	*	*	*
PD100U	PLUMBING - OVERALL DEMOLITION PLAN, UNDERGROUND	BAE	*	*	*	*
PD100.1U	PLUMBING - ENLARGED DEMOLITION PLAN, UNDERGROUND - AREA 1	BAE	*	*	*	*
PD100.2U	PLUMBING - ENLARGED DEMOLITION PLAN, UNDERGROUND - AREA 2	BAE	*	*	*	*
PD100.3U	PLUMBING - ENLARGED DEMOLITION PLAN, UNDERGROUND - AREA 3	BAE	*	*	*	*
PD100	PLUMBING - OVERALL DEMOLITION PLAN, BASEMENT FLOOR	BAE	*	*	*	*
PD100.1	PLUMBING - ENLARGED DEMOLITION PLAN, BASEMENT FLOOR - AREA 1	BAE	*	*	*	*
PD100.2	PLUMBING - ENLARGED DEMOLITION PLAN, BASEMENT FLOOR - AREA 2	BAE	*	*	*	*
PD100.3	PLUMBING - ENLARGED DEMOLITION PLAN, BASEMENT FLOOR - AREA 3	BAE	*	*	*	*
PD100I	PLUMBING - OVERALL DEMOLITION PLAN, INTERSTITIAL FLOOR	BAE	*	*	*	*
PD100.1I	PLUMBING - ENLARGED DEMOLITION PLAN, INTERSTITIAL FLOOR - AREA 1	BAE	*	*	*	*
PD100.2I	PLUMBING - ENLARGED DEMOLITION PLAN, INTERSTITIAL FLOOR - AREA 2	BAE	*	*	*	*
PD100.3I	PLUMBING - ENLARGED DEMOLITION PLAN, INTERSTITIAL FLOOR - AREA 3	BAE	*	*	*	*
P100U	PLUMBING - OVERALL FLOOR PLAN, UNDERGROUND	BAE	*	*	*	*
P100.1U	PLUMBING - ENLARGED FLOOR PLAN, UNDERGROUND - AREA 1	BAE	*	*	*	*
P100.2U	PLUMBING - ENLARGED FLOOR PLAN, UNDERGROUND - AREA 2	BAE	*	*	*	*
P100.3U	PLUMBING - ENLARGED FLOOR PLAN, UNDERGROUND - AREA 3	BAE	*	*	*	*
P100.4U	PLUMBING - ENLARGED FLOOR PLAN, UNDERGROUND - AREA 4	BAE	*	*	*	*
P100.5U	PLUMBING - ENLARGED FLOOR PLAN, UNDERGROUND - LOADING DOCK	BAE	*	*	*	*
P100	PLUMBING - OVERALL FLOOR PLAN, BASEMENT FLOOR	BAE	*	*	*	*
P100.2	PLUMBING - ENLARGED FLOOR PLAN, BASEMENT FLOOR - AREA 2	BAE	*	*	*	*
P100.3	PLUMBING - ENLARGED FLOOR PLAN, BASEMENT FLOOR - AREA 3	BAE	*	*	*	*
P100.4	PLUMBING - ENLARGED FLOOR PLAN, BASEMENT FLOOR - AREA 4	BAE	*	*	*	*
P100.5	PLUMBING - ENLARGED FLOOR PLAN, BASEMENT FLOOR - LOADING DOCK	BAE	*	*	*	*
P100I	PLUMBING - OVERALL FLOOR PLAN, INTERSTITIAL FLOOR	BAE	*	*	*	*
P100.1I	PLUMBING - ENLARGED FLOOR PLAN, INTERSTITIAL FLOOR - AREA 1	BAE	*	*	*	*
P100.2I	PLUMBING - ENLARGED FLOOR PLAN, INTERSTITIAL FLOOR - AREA 2	BAE	*	*	*	*
P100.3I	PLUMBING - ENLARGED FLOOR PLAN, INTERSTITIAL FLOOR - AREA 3	BAE	*	*	*	*
P100.4I	PLUMBING - ENLARGED FLOOR PLAN, INTERSTITIAL FLOOR - AREA 4	BAE	*	*	*	*
P501	PLUMBING - DETAILS	BAE	*	*	*	*
P502	PLUMBING - DETAILS	BAE	*	*	*	*
P503	PLUMBING - DETAILS	BAE	*	*	*	*
P601	PLUMBING - DOMESTIC WATER ISOMETRIC - AREA 2	BAE	*	*	*	*
P602	PLUMBING - DOMESTIC WATER ISOMETRIC - AREA 3 AND 4	BAE	*	*	*	*
P603	PLUMBING - SANITARY AND VENT ISOMETRIC - AREA 2	BAE	*	*	*	*
P604	PLUMBING - SANITARY AND VENT ISOMETRIC - AREA 3 AND 4	BAE	*	*	*	*
P701	PLUMBING - SCHEDULE	BAE	*	*	*	*
P702	PLUMBING - SCHEDULE	BAE	*	*	*	*
P703	PLUMBING - SCHEDULE	BAE	*	*	*	*
07-MECHANICAL						
M001	MECHANICAL - GENERAL NOTES, SYMBOLS AND ABBREVIATIONS	BAE	*	*	*	*
MCD100	MECHANICAL VENTILATION - OVERALL BASEMENT CEILING DEMOLITION PLAN	BAE	*	*	*	*
MHD100	MECHANICAL VENTILATION - OVERALL BASEMENT DEMOLITION PLAN	BAE	*	*	*	*
MHD100.1	MECHANICAL VENTILATION - ENLARGED BASEMENT DEMOLITION PLAN - AREA 1	BAE	*	*	*	*
MHD100.2	MECHANICAL VENTILATION - ENLARGED BASEMENT DEMOLITION PLAN - AREA 2	BAE	*	*	*	*
MHD100.3	MECHANICAL VENTILATION - ENLARGED BASEMENT DEMOLITION PLAN - AREA 3	BAE	*	*	*	*
MHD100.4	MECHANICAL VENTILATION - ENLARGED BASEMENT DEMOLITION PLAN - AREA 4	BAE	*	*	*	*
MHD100.6	MECHANICAL VENTILATION - ENLARGED BASEMENT DEMOLITION PLAN - AREA 6	BAE	*	*	*	*
MHD100.7	MECHANICAL VENTILATION - ENLARGED BASEMENT DEMOLITION PLAN - AREA 7/8	BAE	*	*	*	*
MHD100.8	MECHANICAL VENTILATION - ENLARGED BASEMENT DEMOLITION PLAN - GC105 MECHANICAL ROOM	BAE	*	*	*	*
MHD101	MECHANICAL VENTILATION - OVERALL ROOF DEMOLITION PLAN	BAE	*	*	*	*
MHD200	MECHANICAL VENTILATION - OVERALL INTERSTITIAL FLOOR DEMOLITION PLAN	BAE	*	*	*	*
MHD200.1	MECHANICAL VENTILATION - ENLARGED INTERSTITIAL FLOOR DEMOLITION PLAN - AREA 1	BAE	*	*	*	*
MHD200.2	MECHANICAL VENTILATION - ENLARGED INTERSTITIAL FLOOR DEMOLITION PLAN - AREA 2	BAE	*	*	*	*
MHD200.3	MECHANICAL VENTILATION - ENLARGED INTERSTITIAL FLOOR DEMOLITION PLAN - AREA 3	BAE	*	*	*	*
MHD200.4	MECHANICAL VENTILATION - ENLARGED INTERSTITIAL FLOOR DEMOLITION PLAN - AREA 4	BAE	*	*	*	*
MHD200.5	MECHANICAL VENTILATION - ENLARGED INTERSTITIAL FLOOR DEMOLITION PLAN - AREA 5	BAE	*	*	*	*
MHD200.6	MECHANICAL VENTILATION - ENLARGED INTERSTITIAL FLOOR DEMOLITION PLAN - AREA 6	BAE	*	*	*	*
MHD200.7	MECHANICAL VENTILATION - ENLARGED INTERSTITIAL FLOOR DEMOLITION PLAN - AREA 7/8	BAE	*	*	*	*
MPD100	MECHANICAL PIPING - OVERALL BASEMENT DEMOLITION PLAN	BAE	*	*	*	*
MPD100.1	MECHANICAL PIPING - ENLARGED BASEMENT DEMOLITION PLAN - AREA 1	BAE	*	*	*	*
MPD100.2	MECHANICAL PIPING - ENLARGED BASEMENT DEMOLITION PLAN - AREA 2	BAE	*	*	*	*
MPD100.7	MECHANICAL PIPING - ENLARGED BASEMENT DEMOLITION PLAN - AREA 7/8	BAE	*	*	*	*
MPD100.8	MECHANICAL PIPING - ENLARGED BASEMENT DEMOLITION PLAN - GC105 MECHANICAL ROOM	BAE	*	*	*	*
MPD200	MECHANICAL PIPING - OVERALL INTERSTITIAL FLOOR DEMOLITION PLAN					

DRAWING INDEX Contd.								
SHEET NUMBER	SHEET TITLE	DRAWN BY	30%	60%	95%	100%	BID	
08-ELECTRICAL								
E001	ELECTRICAL - GENERAL NOTES	BAE	*	*	*	*	*	*
E002	ELECTRICAL - SYMBOLS AND ABBREVIATIONS	BAE	*	*	*	*	*	*
E201	ELECTRICAL - CONSTRUCTION PHASING	BAE	*	*	*	*	*	*
E201.1	ELECTRICAL - CONSTRUCTION PHASING	BAE	*	*	*	*	*	*
E201.2	ELECTRICAL - CONSTRUCTION PHASING	BAE	*	*	*	*	*	*
EPD100	ELECTRICAL - OVERALL POWER DEMOLITION PLAN, BASEMENT FLOOR & PENTHOUSE	BAE	*	*	*	*	*	*
EPD100.1	ELECTRICAL - POWER DEMOLITION PLAN, BASEMENT FLOOR - AREA 1	BAE	*	*	*	*	*	*
EPD100.2	ELECTRICAL - POWER DEMOLITION PLAN, BASEMENT FLOOR - AREA 2	BAE	*	*	*	*	*	*
EPD100.3	ELECTRICAL - POWER DEMOLITION PLAN, BASEMENT FLOOR - AREA 3	BAE	*	*	*	*	*	*
EPD100.4	ELECTRICAL - POWER DEMOLITION PLAN, BASEMENT FLOOR - AREA 4	BAE	*	*	*	*	*	*
EPD100.5	ELECTRICAL - POWER DEMOLITION PLAN, ELECTRICAL ROOMS GA137H, GA139A, GB100E AND GD102A	BAE	*	*	*	*	*	*
EPD100.6	ELECTRICAL - POWER DEMOLITION PLAN, ELECTRICAL ROOM GC105D	BAE	*	*	*	*	*	*
EPD100.7	ELECTRICAL - POWER DEMOLITION EQUIPMENT SCHEDULES	BAE	*	*	*	*	*	*
EPD100.8	ELECTRICAL - POWER DEMOLITION PLAN, ENLARGED AHU ROOM GC105	BAE	*	*	*	*	*	*
EPD101	ELECTRICAL - POWER DEMOLITION PLAN, ROOF AND MOTOR CONTROL CENTER	BAE	*	*	*	*	*	*
EP100	ELECTRICAL - OVERALL POWER PLAN, BASEMENT FLOOR	BAE	*	*	*	*	*	*
EP100.1	ELECTRICAL - POWER PLAN, BASEMENT FLOOR - AREA 1	BAE	*	*	*	*	*	*
EP100.2	ELECTRICAL - POWER PLAN, BASEMENT FLOOR - AREA 2	BAE	*	*	*	*	*	*
EP100.3	ELECTRICAL - POWER PLAN, BASEMENT FLOOR - AREA 3	BAE	*	*	*	*	*	*
EP100.4	ELECTRICAL - POWER PLAN - BASEMENT FLOOR - AREA 4	BAE	*	*	*	*	*	*
EP100.5A	ELECTRICAL - POWER PLAN, ELECTRICAL ROOM GA137H	BAE	*	*	*	*	*	*
EP100.5B	ELECTRICAL - POWER PLAN, ELECTRICAL ROOM GA139A	BAE	*	*	*	*	*	*
EP100.5C	ELECTRICAL - POWER PLAN, ELECTRICAL ROOM GA-021	BAE	*	*	*	*	*	*
EP100.5D	ELECTRICAL - POWER PLAN, ELECTRICAL ROOM GD102A	BAE	*	*	*	*	*	*
EP100.6	ELECTRICAL - POWER PLAN, ELECTRICAL ROOM GC105D	BAE	*	*	*	*	*	*
EP100.7	ELECTRICAL - ENLARGED BASEMENT PLAN-AREA 7/8	BAE	*	*	*	*	*	*
EP100.8	ELECTRICAL - POWER PLAN, ENLARGED AHU ROOM GC105	BAE	*	*	*	*	*	*
EP100.9	ELECTRICAL - POWER PLAN, LOADING DOCK AREA & UNDERGROUND GREASE TRAP	BAE	*	*	*	*	*	*
EP101	ELECTRICAL - POWER PLAN, ROOF AND MOTOR CONTROL CENTER - MCC1A	BAE	*	*	*	*	*	*
EP102	ELECTRICAL - COOLERS AND FREEZERS ENLARGED POWER PLAN	BAE	*	*	*	*	*	*
EP103	ELECTRICAL - FREEZERS 80 & 84 UNDER SLAB HEAT TRACE & CONDENSATE HEAT TRACE	BAE	*	*	*	*	*	*
ELD100	ELECTRICAL - OVERALL LIGHTING DEMOLITION PLAN, BASEMENT FLOOR	BAE	*	*	*	*	*	*
ELD100.1	ELECTRICAL - LIGHTING DEMOLITION PLAN, BASEMENT FLOOR - AREA 1	BAE	*	*	*	*	*	*
ELD100.2	ELECTRICAL - LIGHTING DEMOLITION PLAN, BASEMENT FLOOR - AREA 2	BAE	*	*	*	*	*	*
ELD100.3	ELECTRICAL - LIGHTING DEMOLITION PLAN, BASEMENT FLOOR - AREA 3	BAE	*	*	*	*	*	*
ELD100.4	ELECTRICAL - LIGHTING DEMOLITION PLAN, BASEMENT FLOOR - AREA 4	BAE	*	*	*	*	*	*
EL100	ELECTRICAL - OVERALL LIGHTING PLAN, BASEMENT FLOOR	BAE	*	*	*	*	*	*
EL100.1	ELECTRICAL - LIGHTING PLAN, BASEMENT - AREA 1	BAE	*	*	*	*	*	*
EL100.2	ELECTRICAL - LIGHTING PLAN, BASEMENT - AREA 2	BAE	*	*	*	*	*	*
EL100.3	ELECTRICAL - LIGHTING PLAN, BASEMENT - AREA 3	BAE	*	*	*	*	*	*
EL100.4	ELECTRICAL - LIGHTING PLAN, BASEMENT - AREA 4	BAE	*	*	*	*	*	*
EL102	ELECTRICAL - COOLERS AND FREEZERS ENLARGED LIGHTING PLAN	BAE	*	*	*	*	*	*
EL102.1	ELECTRICAL - REFRIGERATORS DOOR, KASON CONTROLS AND LIGHTING SCHEDULES	BAE	*	*	*	*	*	*
ETD100	ELECTRICAL - OVERALL TECHNOLOGY DEMOLITION PLAN, BASEMENT FLOOR	BAE	*	*	*	*	*	*
ETD100.1	ELECTRICAL - TECHNOLOGY DEMOLITION PLAN, BASEMENT FLOOR - AREA 1	BAE	*	*	*	*	*	*
ETD100.2	ELECTRICAL - TECHNOLOGY DEMOLITION PLAN, BASEMENT FLOOR - AREA 2	BAE	*	*	*	*	*	*
ETD100.3	ELECTRICAL - TECHNOLOGY DEMOLITION PLAN, BASEMENT FLOOR - AREA 3	BAE	*	*	*	*	*	*
ETD100.4	ELECTRICAL - TECHNOLOGY DEMOLITION PLAN, BASEMENT FLOOR - AREA 4	BAE	*	*	*	*	*	*
ET100	ELECTRICAL - OVERALL TECHNOLOGY PLAN, BASEMENT FLOOR	BAE	*	*	*	*	*	*
ET100.1	ELECTRICAL - TECHNOLOGY PLAN, BASEMENT FLOOR - AREA 1	BAE	*	*	*	*	*	*
ET100.2	ELECTRICAL - TECHNOLOGY PLAN, BASEMENT FLOOR - AREA 2	BAE	*	*	*	*	*	*
ET100.3	ELECTRICAL - TECHNOLOGY PLAN, BASEMENT FLOOR - AREA 3	BAE	*	*	*	*	*	*
ET100.4	ELECTRICAL - TECHNOLOGY PLAN, BASEMENT FLOOR - AREA 4	BAE	*	*	*	*	*	*
ET100.8	ELECTRICAL - TECHNOLOGY PLAN, ENLARGED AHU ROOM GC105	BAE	*	*	*	*	*	*
ET101	ELECTRICAL - TECHNOLOGY PLAN, ROOF AND MOTOR CONTROL CENTER - MCC1A	BAE	*	*	*	*	*	*
ET102	ELECTRICAL - COOLERS AND FREEZERS ENLARGED CONTROLS PLAN	BAE	*	*	*	*	*	*
ET104	ELECTRICAL - IT ROOM GD-129	BAE	*	*	*	*	*	*
ET105	ELECTRICAL - IT CLOSET-GA-036	BAE	*	*	*	*	*	*
ET106	ELECTRICAL - IT ROOM GB-134	BAE	*	*	*	*	*	*
EFD100	ELECTRICAL - OVERALL FIRE DETECTION AND ALARM DEMOLITION PLAN, BASEMENT FLOOR	BAE	*	*	*	*	*	*
EFD100.1	ELECTRICAL - FIRE DETECTION AND ALARM DEMOLITION PLAN, BASEMENT FLOOR - AREA 1	BAE	*	*	*	*	*	*
EFD100.2	ELECTRICAL - FIRE DETECTION AND ALARM DEMOLITION PLAN, BASEMENT FLOOR - AREA 2	BAE	*	*	*	*	*	*
EFD100.3	ELECTRICAL - FIRE DETECTION AND ALARM DEMOLITION PLAN, BASEMENT FLOOR - AREA 3	BAE	*	*	*	*	*	*
EFD100.4	ELECTRICAL - FIRE DETECTION AND ALARM DEMOLITION PLAN, BASEMENT FLOOR - AREA 4	BAE	*	*	*	*	*	*
EF100	ELECTRICAL - OVERALL FIRE DETECTION AND ALARM PLAN	BAE	*	*	*	*	*	*
EF100.1	ELECTRICAL - FIRE DETECTION AND ALARM PLAN, BASEMENT FLOOR - AREA 1	BAE	*	*	*	*	*	*
EF100.2	ELECTRICAL - FIRE DETECTION AND ALARM PLAN, BASEMENT FLOOR - AREA 2	BAE	*	*	*	*	*	*
EF100.3	ELECTRICAL - FIRE DETECTION AND ALARM PLAN, BASEMENT FLOOR - AREA 3	BAE	*	*	*	*	*	*
EF100.4	ELECTRICAL - FIRE DETECTION AND ALARM PLAN, BASEMENT FLOOR - AREA 4	BAE	*	*	*	*	*	*
EF100.5	ELECTRICAL - FIRE PROTECTION DETAILS	BAE	*	*	*	*	*	*
ED500-102	ELECTRICAL - SINGLE LINE BLDG 500-SWB-D	BAE	*	*	*	*	*	*
ED500-104	ELECTRICAL - SINGLE LINE BLDG 500-SWB-DP-NE-R & DP-NCB_NC1_NC2	BAE	*	*	*	*	*	*
ED500-105	ELECTRICAL - SINGLE LINE BLDG 500-DP-SWW1, EDP-1-TR & DP-SA	BAE	*	*	*	*	*	*
ED500-106	ELECTRICAL - SINGLE LINE BLDG 500-ELP-NEB-B	BAE	*	*	*	*	*	*
ED500-109	ELECTRICAL - SINGLE LINE BLDG 500-SWB-BD-3 & DPA-EQ1	BAE	*	*	*	*	*	*
ED500-110	ELECTRICAL - SINGLE LINE BLDG 500-CRITICAL	BAE	*	*	*	*	*	*
ED500-111	ELECTRICAL - SINGLE LINE BLDG 500-SWB-DPA-LS	BAE	*	*	*	*	*	*
ED500-113	ELECTRICAL - SINGLE LINE BLDG 500-SE1 & DP-OR	BAE	*	*	*	*	*	*
ED500-114	ELECTRICAL - SINGLE LINE BLDG 500-SWB-DP-SEB, DP-SE2 & DP-SW1	BAE	*	*	*	*	*	*
ED500-115	ELECTRICAL - SINGLE LINE BLDG 500-DP-NEB & DP-KA	BAE	*	*	*	*	*	*
ED500-116	ELECTRICAL - SINGLE LINE BLDG 500-DP-SWB	BAE	*	*	*	*	*	*
E500-101	ELECTRICAL - SINGLE LINE BLDG 500-SWB-A	BAE	*	*	*	*	*	*
E500-102	ELECTRICAL - SINGLE LINE BLDG 500-SWB-500-B	BAE	*	*	*	*	*	*
E500-103	ELECTRICAL - SINGLE LINE BLDG 500-SWB-EMERGENCY	BAE	*	*	*	*	*	*
E500-104	ELECTRICAL - SINGLE LINE BLDG 500-SWB-DP-NE-R & DP-NCB_NC1_NC2	BAE	*	*	*	*	*	*
E500-105	ELECTRICAL - SINGLE LINE BLDG 500-DP-SWW1, EDP-1-TR & DP-SA	BAE	*	*	*	*	*	*
E500-106	ELECTRICAL - SINGLE LINE BLDG 500-ELP-NEB-B	BAE	*	*	*	*	*	*
E500-108	ELECTRICAL - SINGLE LINE BLDG 500-SWB-MCC-1 & SWBD-EMDP	BAE	*	*	*	*	*	*
E500-108.1	ELECTRICAL - SINGLE LINE BLDG 500-SWB-EMDP	BAE	*	*	*	*	*	*
E500-109	ELECTRICAL - SINGLE LINE BLDG 500-SWB-BD-3 & DPA-EQ1	BAE	*	*	*	*	*	*
E500-110	ELECTRICAL - SINGLE LINE BLDG 500-CRITICAL	BAE	*	*	*	*	*	*
E500-111	ELECTRICAL - SINGLE LINE BLDG 500-SWB-DPA-EQ2	BAE	*	*	*	*	*	*
E500-111.1	ELECTRICAL - SINGLE LINE BLDG 500-SWB-DPA-LS	BAE	*	*	*	*	*	*
E500-112	ELECTRICAL - SINGLE LINE BLDG 500-DP-NWB	BAE	*	*	*	*	*	*
E500-113	ELECTRICAL - SINGLE LINE BLDG 500-SE1 & DP-OR	BAE	*	*	*	*	*	*
E500-114	ELECTRICAL - SINGLE LINE BLDG 500-SWB-DP-SEB, DP-SE2 & DP-SW1	BAE	*	*	*	*	*	*

DRAWING INDEX Contd.								
SHEET NUMBER	SHEET TITLE	DRAWN BY	30%	60%	95%	100%	BID	
E500-115	ELECTRICAL - SINGLE LINE BLDG 500-DP-KA	BAE	*	*	*	*	*	*
E500-116	ELECTRICAL - SINGLE LINE BLDG 500-DP-SWB-B	BAE	*	*	*	*	*	*
E500-120	ELECTRICAL - SINGLE LINE BLDG 500-EM PANEL-DPA-EQ	BAE	*	*	*	*	*	*
ED600-1	ELECTRICAL - DEMOLITION PANELS ELEC. ROOM GA139A	BAE	*	*	*	*	*	*
ED600-2	ELECTRICAL - DEMOLITION PANELS ELEC. ROOM GB100E	BAE	*	*	*	*	*	*
ED600-3	ELECTRICAL - DEMOLITION PANELS ELEC. ROOM GB123	BAE	*	*	*	*	*	*
ED600-4	ELECTRICAL - DEMOLITION PANELS ELEC. ROOM GC105D	BAE	*	*	*	*	*	*
E600	ELECTRICAL - NEW PANELS ELEC. ROOM GA137H	BAE	*	*	*	*	*	*
E600-1	ELECTRICAL - NEW PANELS ELEC. ROOM GA139A	BAE	*	*	*	*	*	*
E600-2	ELECTRICAL - NEW PANELS ELEC. ROOM GB100E	BAE	*	*	*	*	*	*
E600-4	ELECTRICAL - NEW PANELS ELEC. ROOM GC105D	BAE	*	*	*	*	*	*
E600-5	ELECTRICAL - NEW PANELS ELEC. ROOM GD102A	BAE	*	*	*	*	*	*
E601	ELECTRICAL - ELECTRICAL EQUIPMENT, BREAKER AND PROTECTIVE DEVICES SCHEDULE	BAE	*	*	*	*	*	*
E602	ELECTRICAL - BREAKER SETTINGS LOW VOLTAGE 480 BREAKERS SWB-A AND SWB-B	BAE	*	*	*	*	*	*
E700	ELECTRICAL - ROOMS LIGHTING SCHEMES	BAE	*	*	*	*	*	*
E701	ELECTRICAL - AIR CURTAIN, ANSUL MICROSWITCH AND GROUND TRIAD DETAILS	BAE	*	*	*	*	*	*
E702	ELECTRICAL - DETAILS - SECURITY	BAE	*	*	*	*	*	*
E703	ELECTRICAL - WIRING AND CONTROL DIAGRAMS	BAE	*	*	*	*	*	*

PROJECT TEAM	
OWNER	
THE DEPARTMENT OF VETERANS AFFAIRS MEDICAL CENTER 510 BUTLER AVENUE MARTINSBURG, WEST VIRGINIA 25405	
ARCHITECT	
BANCROFT ARCHITECTS + ENGINEERS 3300 DUNDEE ROAD, NORTHBROOK, IL 60062 P: 847-952-9362	
	
KITCHEN EQUIPMENT	
COMMERCIAL KITCHEN CONSULTING LLC 747 CONKLIN ROAD BINGHAMPTON, NY 13903 T: 607-217-5389	
CIVIL ENGINEER	
GWIN, DOBSON & FOREMAN, INC. 3121 FAIRWAY DRIVE ALTOONA, PA 16602 T: 814-943-5314	
	
FIRE PROTECTION ENGINEER	
BANCROFT ARCHITECTS + ENGINEERS 3300 DUNDEE ROAD, NORTHBROOK, IL 60062 P: 847-952-9362	
	
PLUMBING ENGINEER	
BANCROFT ARCHITECTS + ENGINEERS 3300 DUNDEE ROAD, NORTHBROOK, IL 60062 P: 847-952-9362	
	
MECHANICAL ENGINEER	
BANCROFT ARCHITECTS + ENGINEERS 3300 DUNDEE ROAD, NORTHBROOK, IL 60062 P: 847-952-9362	
	
ELECTRICAL ENGINEER	
BANCROFT ARCHITECTS + ENGINEERS 3300 DUNDEE ROAD, NORTHBROOK, IL 60062 P: 847-952-9362	
	
COST ESTIMATOR	
BANCROFT ARCHITECTS + ENGINEERS 3300 DUNDEE ROAD, NORTHBROOK, IL 60062 P: 847-952-9362	
INTERIORS	
BANCROFT ARCHITECTS + ENGINEERS 3300 DUNDEE ROAD, NORTHBROOK, IL 60062 P: 847-952-9362	

VA CONTRACT NO: 36C24519C0171

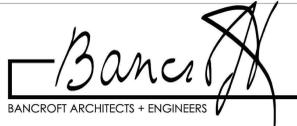
Project Title RENOVATE/UPGRADE NFS KITCHEN - BUILDING 500 BASEMENT	Project Number 613-19-103
Location 510 BUTLER AVENUE, MARTINSBURG, WV 25405	Building Number 500
Issue Date 11/24/21	Checked II
Drawn DMKA	Drawing Number G003

C:\Users\Kwlan\Documents\8-133_Architectural_Central_Kwlan\ot
11/24/2021 12:11:32 PM
VA FORM 08-6231

BID DOCUMENTS SUBMITTAL	11/24/2021
100% CONSTRUCTION DOCUMENTS SUBMISSION	07/23/2021
95% CONSTRUCTION DOCUMENTS SUBMISSION	02/12/2021
60% DESIGN DEVELOPMENT SUBMISSION	09/11/2020
30% SCHEMATIC DESIGN SUBMISSION	05/24/2020
Revisions:	Date:

CONSULTANT

ARCHITECT/ENGINEER OF RECORD


BANCROFT ARCHITECTS + ENGINEERS
700 Nicholas Blvd, Suite 300
Eik Grove Village, IL 60007
T: 847.952.9362 F: 847.952.9403
www.bancroft-ae.com

STAMP

Office of Construction and Facilities Management

VA U.S. Department of Veterans Affairs

Drawing Title
DRAWING INDEX

Approved: Project Director

Phase
BID DOCUMENTS SUBMITTAL

FULLY SPRINKLERED

GENERAL NOTES FOR CONTRACTORS

- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL PUBLISHED APPLICABLE LOCAL / STATE / FEDERAL / NATIONAL CODES, ORDINANCES AND REGULATIONS ALONG WITH ALL RELATED VA DIRECTIVES, DESIGN GUIDES AND MANUALS, SPECIFICATIONS AND STANDARDS PLUS ALL VA REQUIREMENTS (FEDERAL AND LOCAL) THAT ARE PROJECT SPECIFIC TO THE DOCUMENTED SCOPE OF WORK ON THIS SITE.
- EACH CONTRACTOR SHALL HAVE PUBLIC LIABILITY, PROPERTY DAMAGE AND WORKMAN'S COMPENSATION INSURANCE AS REQUIRED BY THE VA IN THE BIDDING DOCUMENTATION. CONTACT THE VA/CO DURING THE BIDDING PHASE WITH ANY QUESTIONS, VERIFICATIONS, AND DOCUMENTATION NECESSARY CONCERNING ALL REQUIREMENTS FOR PROJECT INSURANCE COVERAGE.
- BEFORE SUBMITTING A BID, ALL CONTRACTORS WILL CAREFULLY EXAMINE THE DRAWINGS AND SPECIFICATIONS SO AS TO BE THOROUGHLY FAMILIAR WITH ALL THE CONTRACT REQUIREMENTS. EACH BIDDER SHOULD THEN VISIT THE SITE OF THE WORK TO BECOME ACQUAINTED WITH ALL VISIBLE FIELD CONDITIONS AFFECTING THE CONTRACT, SUCH AS OBSTACLES WHICH MAY BE ENCOUNTERED AND ALL OTHER CONDITIONS RELATIVE TO WHAT COULD AFFECT/IMPACT THE WORK OR BE AFFECTED BY THE PERFORMANCE OF THE WORK.
- IF AWARDED THE CONTRACT, THE CONTRACTORS SHALL NOT BE ALLOWED ANY EXTRA COMPENSATION BY REASON OF ANY UNFORESEEN DIFFICULTIES OR OBSTACLES WHICH THE BIDDER COULD HAVE REASONABLY ANTICIPATED PRIOR TO BIDDING. SHOULD ANY DISCREPANCIES, ERRORS, CONFLICT OR ITEMS NEEDING CLARIFICATION BE DISCOVERED IN THE PLANS AND/OR SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY THE VA/CO PRIOR TO SUBMITTING A BID AND THE VA/CO BEFORE STARTING ANY OF THE WORK.
- CONTRACTORS SHALL REFERENCE ALL DRAWINGS IN ALL SECTIONS OF WORK FOR FULLY DEFINING THEIR SCOPE OF WORK RESPONSIBILITIES AND COORDINATE SAME WITH THE GENERAL/PRIME CONTRACTOR. SUBCONTRACTORS AND SUPPLIERS FOR EACH TRADE ARE ADVISED THAT INFORMATION PERTINENT TO THEIR SCOPE OF WORK ALSO OCCURS IN OTHER SECTIONS OF THE DRAWINGS AND THE COMPLETE SET OF CONTRACT DOCUMENTS.
- ALL ENGINEERING SYSTEMS WORK INCLUDED IN THE CONTRACT DRAWINGS SHALL BE TAKEN IN A SENSE AS A DIAGRAMMATIC REPRESENTATION OF ITS INTENDED PLACEMENT AND DISTRIBUTION WITHIN THE GENERAL PROXIMITY WHERE SHOWN. THE SIZE AND THE MEANS OF RUNNING DISTRIBUTION SYSTEMS ARE SHOWN BUT IT IS NOT INTENDED TO SHOW EVERY CONNECTION, FITTING, OFFSET, SUPPORT ELEMENT, OR EVERY STRUCTURAL DIFFICULTY THAT CAN BE ENCOUNTERED DURING THE INSTALLATION OF THE WORK.
- PROJECT LIMIT LINES ARE SHOWN ON THE DRAWINGS FOR ORIENTATION PURPOSES ONLY AND SHOULD NOT BE CONSTRUED TO INDICATE THE FULL EXTENT OR LIMITS OF THE AREA(S) OF WORK.
- EACH CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK SHALL FULLY COORDINATE AND VERIFY WITH ALL OTHER CONTRACTORS, OTHER TRADES AND THE VA/CO CONCERNING ALL SPACE REQUIREMENTS FOR THIS PROJECT. THE GENERAL/PRIME CONTRACTOR SHALL BE RESPONSIBLE FOR COMMUNICATING, DOCUMENTING AND COORDINATING ALL SPACE REQUIREMENTS WITH THE VA/CO TO AVOID CONFLICTS AND MISCOMMUNICATION.
- ALL EXISTING BUILDING UTILITIES AND INFRASTRUCTURE SERVICES SYSTEMS THAT FEED OTHER SPACES OUTSIDE THE DEMISED PROJECT AREA AND THAT ARE LOCATED WITHIN THE AREA OF WORK, THEREBY INTERFERING WITH THE NEW CONSTRUCTION, SHALL BE REROUTED AND RELOCATED AS REQUIRED TO MAINTAIN FULL SERVICE TO THE AFFECTED AREAS.
- ALL FINISHED AREAS ADJACENT TO OR INCLUDED WITHIN THE AREA(S) OF CONSTRUCTION ALONG WITH ALL PUBLIC PROJECT ACCESS ROUTES SHALL BE PROTECTED FROM DUST AND DIRT THROUGH THE USE OF VA/CO APPROVED DUST/PROOF PROTECTION. SEE THE OCCUPIED AREA PROTECTION PROTOCOLS PROVIDED IN THE "GENERAL" DRAWINGS SECTION AND COORDINATE ALL SITE SPECIFIC CONDITIONS/ IMPACTS ENCOUNTERED WITH THE VA/CO.
- DO NOT SCALE THE DRAWINGS. USE THE GIVEN DIMENSIONS.
- THE GENERAL/PRIME CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL SHOP DRAWING REQUIREMENTS WITH ALL OF THE AFFECTED TRADES, THE VA/CO AND WITH THE AE.
- OBTAIN ALL REQUIRED VA/CO AUTHORIZATIONS BEFORE BEGINNING ANY DEMOLITION WORK OR NEW CONSTRUCTION, INCLUDING TEMPORARY BARRICADES AND PROTECTION WORK.
- EACH CONTRACTOR SHALL MAINTAIN A COMPETENT OSHA-30 FOREMAN OR EQUALLY QUALIFIED DIRECT REPRESENTATIVE ON THE JOB SITE AT ALL TIMES.
- EACH CONTRACTOR SHALL COOPERATE AND COORDINATE WITH THE GENERAL/PRIME CONTRACTOR'S SUPERINTENDENT AND WITH THE FOREMAN OF ALL OTHER TRADES IN ORDER THAT THERE BE NO DELAYS IN THE EXECUTION AND COMPLETION OF THE WORK.
- DURING CONSTRUCTION EACH CONTRACTOR SHALL KEEP ON SITE ACCURATE FIELD RECORDS OF ALL CONCEALED AND VISUALLY ACCESSIBLE WORK THAT DIFFERS FROM THE CONTRACT DRAWINGS/DOCUMENTS. THESE AS-BUILT MARKED-UP RECORD DRAWINGS/DOCUMENTS WILL BE KEPT UP TO DATE BY THE GENERAL/PRIME CONTRACTOR AND PROVIDED TO THE VA/CO FOR DISTRIBUTION AT THE COMPLETION OF THE PROJECT.
- IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO ADEQUATELY PROTECT EXISTING CONSTRUCTION AND FINISHES TO REMAIN IN PLACE DURING BOTH THE DEMOLITION AND CONSTRUCTION SEQUENCES OF WORK. ANY DAMAGE TO SUCH AREAS SHALL BE RESTORED AND REFINISHED TO A "LIKE-NEW" CONDITION PRIOR TO THE VA/CO'S ACCEPTANCE OF THAT WORK.
- THE GENERAL/PRIME CONTRACTOR IS RESPONSIBLE FOR THE PATCH, REPAIR, REFINISHING AND/OR REPLACEMENT OF ALL CONSTRUCTION, MATERIALS, ASSEMBLIES, EQUIPMENT, SIGNAGE AND FINISHES DAMAGED BY THE PROJECT DEMOLITION, TEMPORARY CONSTRUCTION, NEW CONSTRUCTION OR THE MOVEMENT OF PERSONNEL, TOOLS, EQUIPMENT, MATERIALS, ETC. BOTH INSIDE AND OUTSIDE OF THE DESIGNATED AREAS OF WORK.
- PROVIDE THE CUTTING AND PATCHING FOR ALL DEMOLITION WORK AND ALL NEW CONSTRUCTION WORK BEING PERFORMED OUTSIDE OF THE PROJECT LIMIT LINES AS REQUIRED TO PROPERLY COMPLETE THE PROJECT SCOPE OF WORK.
- ALL CUTTING, CORING AND DRILLING OF EXISTING CONCRETE AND MASONRY CONSTRUCTION SHALL NOT DAMAGE EXISTING REINFORCING STEEL, PIPING, CONDUITS OR OTHER CONCEALED CONSTRUCTION WITHIN. PRIOR TO CORING, DRILLING, CUTTING OR PERFORMING ANY BREAKING EFFORTS, PROVIDE PENETRATING FIELD X-RAYING OF THE INTENDED AREAS AND DOCUMENT THE EXACT SIZE AND LOCATIONS OF ALL SUCH INTERFERENCES. COORDINATE WITH AND OBTAIN VA/CO APPROVAL BEFORE PROCEED WITH ANY SUCH REQUIRED PENETRATIONS WORK.
- RELOCATIONS OF ANY INFRASTRUCTURE DISTRIBUTION SYSTEMS OR EQUIPMENT, WHICH MAY ALTER THE ARCHITECTURAL OR STRUCTURAL CONSTRUCTION, MUST BE APPROVED FIRST BY THE VA/CO PRIOR TO STARTING ITS RELOCATION.
- THE GENERAL/PRIME CONTRACTOR IS RESPONSIBLE TO PROVIDE THE REMOVAL OF ALL CONSTRUCTION DEMOLITION DEBRIS, SPOIL AND MATERIALS FROM THE PROJECT SITE ON A DAILY BASIS UNLESS SPECIFICALLY REFERENCED OTHERWISE IN THE PROJECT SPECIFIC LOGISTICAL SEQUENCING REQUIREMENTS.

BASIS OF DESIGN (BOD) COMPLIANCE PROTOCOLS

- INTENT:
- TO ORGANIZE AND IDENTIFY THE "EQUIVALENCY SUBSTITUTION PROCESS" IN ORDER TO FORMALIZE THE PROCESS, CLARIFY RESPONSIBILITIES, PROACTIVELY MANAGE THE PROCESS AND MINIMIZE COSTLY DELAYS IN THE EXECUTION OF THE WORK.
 - THERE ARE NO INTENDED RESTRICTIONS LIMITING COMPETITION ON THE EQUIVALENT SUBSTITUTION OF MATERIALS, EQUIPMENT, HARDWARE, FINISHES, CONTROLS, SYSTEMS AND THE INCLUSIVE PARTS, DETAILED ASSEMBLIES, RELATED DESIGN ELEMENTS AND PERFORMANCE CHARACTERISTICS, UNLESS AS IDENTIFIED IN THE BID SOLICITATION.
- SUMMARY DESCRIPTION:
- THE BASIS OF DESIGN (BOD) COMPLIANCE PROTOCOLS ARE TO BE FOLLOWED FOR ALL CONTRACTOR PROPOSED EQUIVALENT SUBSTITUTIONS OR DEVIATIONS FROM THE BASE BID/CONSTRUCTION DOCUMENTS.
 - AN EQUIVALENT SUBSTITUTION REPRESENTS ANY DEVIATION FROM THE CONTRACT DOCUMENTS ORIGINAL DESIGN INTENT, SCOPE OF WORK REQUIREMENTS, THE DETAILING OR SPECIFICATIONS.
 - NO SUCH EQUIVALENT SUBSTITUTION OR DEVIATION WILL BE ALLOWED WITHOUT FIRST GOING THROUGH THE BOD COMPLIANCE PROTOCOLS PROCESS AND OBTAINING VA APPROVAL.
 - ONCE VA APPROVAL OF THE EQUIVALENT SUBSTITUTION OR DEVIATION REQUEST HAS BEEN OBTAINED, THE FORMAL SHOP DRAWING PREPARATION AND SUBMITTAL PROCESS MAY BEGIN FOR THAT WORK.
 - THE FOLLOWING BOD COMPLIANCE PROTOCOLS DEFINE IN DETAIL THE RESPONSIBILITIES AND THE EVALUATION PROCESS ALONG WITH THE REQUIREMENTS AND PROCEDURES TO BE FOLLOWED WHEN REQUESTING VA CONSIDERATION OF ANY PROPOSED EQUIVALENT SUBSTITUTION OR DEVIATION.
- BOD COMPLIANCE PROTOCOLS:
- THE BOD COMPLIANCE PROTOCOLS APPLY TO ALL MATERIALS, EQUIPMENT, HARDWARE, FINISHES, CONTROLS, ENGINEERING SYSTEMS AND THEIR INCLUSIVE PARTS, DETAILED ASSEMBLIES PLUS ALL RELATED DESIGN ELEMENTS AND SPECIFIED PARAMETERS THAT ARE CONTAINED WITHIN THE BID/ISSUED FOR CONSTRUCTION DRAWINGS AND SPECIFICATIONS DOCUMENTATION, OR AS SPECIFICALLY REFERENCED BY SAME.
 - SPECIFIC DESIGN CHARACTERISTICS REQUIRING BOD COMPLIANCE ANALYSIS WILL VARY WITH EACH SPECIFIC ITEM BEING PROPOSED AS AN EQUIVALENT SUBSTITUTION AND WILL NEED TO BE FULLY COMPARED TO ESTABLISH BOD COMPLIANCE.
 - CRITICAL DESIGN CHARACTERISTICS AND ELEMENTS ARE SPECIFIC TO EACH ITEM NEEDING CONSIDERATION AND COULD CONSIST OF, BUT NOT LIMITED TO, CRITERIA SUCH AS DIMENSIONAL LOGISTICS, PERFORMANCE CHARACTERISTICS, CAPACITY, DUTY REQUIREMENTS, OPERATIONAL EFFICIENCIES, ACOUSTICAL REQUIREMENTS, UTILITIES IMPACTS, CONNECTION VARIANCES, DETAILING DEVIATIONS, FRAMING MODIFICATIONS, ROUGH IN REQUIREMENTS, WEIGHT INCREASES AND/OR DISTRIBUTIONS, STRUCTURAL IMPACTS, ATTACHMENTS, SUPPORTS, FINISHES, AVAILABILITY, COMPATIBILITY, CONSTRUCTABILITY, WARRANTIES, SERVICE LIFE, MAINTENANCE REQUIREMENTS, ENVIRONMENTAL CONSIDERATIONS, LEED RELATED DESIGN CONSIDERATIONS, ETC.
 - A VERY CRITICALLY IMPORTANT DESIGN CHARACTERISTIC OF ALL BOD ITEMS NEEDING TO BE FULLY EVALUATED AND PROPERLY COORDINATED WOULD BE THE DESIGN AND LAYOUT DIMENSIONAL LOGISTICS REQUIREMENTS. THOSE CRITICAL PARAMETERS COULD CONSIST OF, BUT NOT LIMITED TO, ALL DIMENSIONAL ELEMENTS THAT AFFECT SIZE, HEIGHT, WIDTH, DEPTH, THICKNESS, PLACEMENT, SPACING, CLEARANCES, ACCESS, MOUNTING, CONNECTION/LOCATION REQUIREMENTS, INSTALLATION TOLERANCES, OPERABLE ELEMENT CLEARANCES, ETC., ALL OF WHICH COULD IMPACT OTHER AREAS OR COMPONENTS OF WORK.
 - CONTRACTORS WILL BE RESPONSIBLE TO FULLY IDENTIFY ALL PROPOSED EQUIVALENT SUBSTITUTIONS, DEVIATIONS, IMPACTS AND MODIFICATIONS FROM THE "BASIS OF DESIGN" INTENT WITH THE GENERAL/PRIME CONTRACTOR DURING THE BIDDING PROCESS AND OBTAIN THEIR APPROVAL BEFORE COMPLETING THEIR PRICING AND SUBMITTING A BID.
 - IF A PROPOSED EQUIVALENT SUBSTITUTION ITEM WILL REQUIRE THAT MODIFICATIONS NEED TO BE MADE, TO THE WORK OF THE PROVIDING CONTRACTOR, THE WORK OF OTHER CONTRACTORS OR THE WORK OF THE VA, THE SUBMITTING CONTRACTOR SHALL BE FULLY RESPONSIBLE TO INFORM AND ADVISE THE GENERAL/PRIME CONTRACTOR OF ANY AND ALL SUCH NECESSARY IMPACTS AND POSSIBLE MODIFICATIONS REQUIRED AS A PART OF THEIR BIDDING AND BASE CONTRACTUAL SCOPE OF WORK RESPONSIBILITIES.
 - THE CONTRACTOR PROPOSING THE EQUIVALENT SUBSTITUTION SHALL BE RESPONSIBLE FOR ALL RELATED WORK AND SHALL IDENTIFY, VERIFY, COORDINATE AND PROVIDE ENGINEERED SOLUTIONS FOR ALL IMPACT ISSUES AFFECTING INFRASTRUCTURE SYSTEMS, UTILITIES SERVICES, BUILDING STRUCTURE, SURROUNDING ELEMENTS, AND SYSTEMS AFFECTED FROM WEIGHT DIFFERENTIALS, REVISED LOADING CHARACTERISTICS, CONNECTION/MOUNTING VARIANCES, INSTALLATION CONFLICTS AND DETAILING MODIFICATIONS, ETC. CAUSED BY THE EQUIVALENT SUBSTITUTION REQUIREMENTS.
 - SPECIAL ATTENTION NEEDS TO BE PAID TO ANY SYSTEMS EQUIPMENT AND MATERIAL PERFORMANCE CHARACTERISTICS INCLUDING ALL ASPECTS OF THEIR DIMENSIONAL LOGISTICS FEATURES AND REQUIREMENTS ALONG WITH ANY STRUCTURAL AND UTILITIES IMPACTS.
 - EACH EQUIVALENT SUBSTITUTION REQUEST ALONG WITH ANY/ALL IMPACTS, DEVIATIONS/VARIANCES AND MODIFICATIONS WILL REQUIRE VA/CO APPROVAL(S) BEFORE ANY SUCH REQUEST IS DEEMED APPROPRIATE BY THE VA AND ALLOWED TO PROCEED INTO THE NORMAL SHOP DRAWING PREPARATION, SUBMITTAL AND REVIEW PROCESS.
 - NO REQUEST FOR AN EQUIVALENT SUBSTITUTION REVIEW CAN BE MADE VIA A SHOP DRAWING SUBMISSION. ANY SUCH SUBMISSION WILL NOT BE REVIEWED AND WILL BE REJECTED AS NON-COMPLYING WITH THE DESIGN INTENT AND NOTED THAT THE CONTRACTOR IS TO FOLLOW THE STANDARD BOD COMPLIANCE PROTOCOLS.
 - ANY DEVIATIONS FROM THE BOD REQUIREMENTS THAT SURFACE DURING THE CONSTRUCTION PHASE SHALL IMMEDIATELY BE MADE KNOWN TO THE GENERAL/PRIME CONTRACTOR WHO WILL IN TURN NOTIFY THE VA/CO. ALL SUCH DEVIATIONS, VARIANCES AND IMPACTS WILL BE FULLY IDENTIFIED, DOCUMENTED AND SUBMITTED TO THE VA/CO FOR REVIEW, EVALUATION AND DIRECTION(S) ON HOW TO PROCEED.
 - ANY NON-COMPLIANT EQUIVALENT SUBSTITUTIONS WORK FOUND TO BE IN PLACE DURING THE CONSTRUCTION PHASE THAT HAD NOT GONE THROUGH THE BOD COMPLIANCE PROTOCOLS APPROVAL PROCESS AND THAT DOESN'T HAVE THE VA/CO'S APPROVAL WILL BE SUBJECT TO POSSIBLE REJECTION AND REMOVAL.
 - THE FINAL INSTALLATION OF ANY EQUIVALENT SUBSTITUTION AND ITS IMPACTS SHALL NOT COMPROMISE ANY OF THE BOD PERFORMANCE CHARACTERISTICS NOR SHALL IT ENCUMBER ANY OF THE ASSOCIATED DESIGN LAYOUT AND DIMENSIONAL LOGISTICS REQUIREMENTS.
 - THE FINAL INSTALLATION OF ANY EQUIVALENT SUBSTITUTION AND ITS IMPACTS SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, REGULATIONS AND VA REQUIREMENTS, PLUS ALLOW ANY SYSTEMS, EQUIPMENT AND/OR MATERIALS TO FUNCTION PROPERLY AND SAFELY.

BOD EQUIVALENT SUBSTITUTIONS PROCESS SEQUENCE:

- BIDDING PHASE
 - ALL BOD PROPOSED EQUIVALENT SUBSTITUTIONS, DEVIATIONS AND ASSOCIATED IMPACTS SHALL BE FULLY IDENTIFIED AND COORDINATED WITH THE GENERAL/PRIME CONTRACTOR(S) DURING THE BIDDING PROCESS SUCH THAT THE COST OF ALL ASSOCIATED BOD SUBSTITUTION MODIFICATIONS, REQUIRED DEVIATIONS AND SCOPE OF WORK IMPACTS DIRECTLY AFFECTING OTHER TRADES SHALL BE INCLUDED IN THE BASE BIDS OF ALL AFFECTED CONTRACTORS.
- CONTRACTORS IDENTIFY PROPOSED EQUIVALENT SUBSTITUTION(S)
 - ALL CONTRACTORS, BEFORE SUBMITTING THEIR REQUEST FOR EQUIVALENT SUBSTITUTION CONSIDERATION SHALL BE RESPONSIBLE TO HAVE FULLY VERIFIED AND CERTIFIED IN WRITING THAT THE DESIGN CHARACTERISTICS OF THE ITEMS THEY WILL BE SUBMITTING FOR BOD COMPLIANCE REVIEW MEETS OR EXCEEDS THE DESIGN INTENT AND PERFORMANCE REQUIREMENTS AS DESIGNED, DETAILED AND SPECIFIED.
- CONTRACTORS PREPARE DETAILED COMPARISONS
 - THE REQUESTING CONTRACTOR SHALL PREPARE AND PROVIDE TO THE GENERAL/PRIME CONTRACTOR A FULL LINE ITEM, SIDE-BY-SIDE COMPARISON LISTING SPREAD SHEET OF ALL BOD DESIGN AND MANUFACTURED CHARACTERISTICS VERSUS THE SAME FOR THE EQUIVALENT SUBSTITUTION BEING PROPOSED.
 - ALL EQUIPMENT, MATERIALS OR ASSEMBLY EQUIVALENT SUBSTITUTIONS SHALL BE PROVIDED ON A CONTRACTOR PREPARED ITEMIZED LISTING PER EACH REQUESTED SUBSTITUTION WITH A FULL AND DETAILED COMPARATIVE DESCRIPTION OF ALL SPECIFICATIONS, PERFORMANCE CHARACTERISTICS, CAPACITIES, WEIGHT, DIMENSIONAL LOGISTICS AND KNOWN IMPACTS, DEPARTURES, ALTERATIONS OR ADJUSTMENTS FROM THE ORIGINAL BOD.
 - CONTRACTORS SHALL UTILIZE THE ORIGINAL MANUFACTURER'S PUBLISHED SPECIFICATIONS AND PRODUCT DATA SHEETS ALONG WITH ANY ADDITIONAL CHARACTERISTICS AND PERFORMANCE CRITERIA REQUIRED AND SPECIFIED IN THE CONSTRUCTION DOCUMENTS AS THE BASIS FOR THE DEVELOPMENT OF THE LINE BY LINE COMPARISON CRITERIA SPREAD SHEET.
- CONTRACTORS IDENTIFY RELATED IMPACTS
 - THE REQUESTING CONTRACTOR SHALL BE RESPONSIBLE TO FULLY IDENTIFY AND DOCUMENT ALL PROPOSED EQUIVALENT SUBSTITUTION CAUSED IMPACTS, DEPARTURES, ALTERATIONS OR ADJUSTMENTS REQUIRED FROM THE ORIGINAL BOD REQUIREMENTS WITH THE GENERAL/PRIME CONTRACTOR AS WELL AS ALL AFFECTED CONTRACTORS.
 - SEE THE DETAILED PROTOCOL REQUIREMENTS FOR THE EXTENT OF RESPONSIBILITIES AND DOCUMENTATION REQUIRED FOR THIS CRITICAL ITEM.
- CONTRACTOR'S DOCUMENTATION TO GENERAL/PRIME CONTRACTOR
 - CONTRACTORS SHALL COORDINATE WITH THE GENERAL/PRIME CONTRACTOR AS TO THE SPECIFIC DATE THAT EACH IS REQUIRED FOR THE COMPLETION OF THEIR EQUIVALENT SUBSTITUTION SUBMISSION REQUEST DOCUMENTATION AND DELIVERY OF THE COMPLETED PACKAGE(S) TO THEM.
 - CONTRACTORS SHALL FULLY COORDINATE THEIR PREPARATION OF ALL REQUIRED DOCUMENTATION AND EQUIVALENCY SUBSTITUTION REQUIREMENTS WITH THE GENERAL/PRIME CONTRACTOR IN ORDER TO ADDRESS ANY AND ALL IMPACTS ON THE PROJECT SCHEDULE AS WELL AS PERFORMING THEIR REQUIRED FORMALIZED REQUEST FOR EQUIVALENCY SUBSTITUTION SUBMISSION.
 - ALL EQUIVALENT SUBSTITUTION REQUESTS ALONG WITH THEIR REQUIRED SUBMISSION REQUEST DOCUMENTATION SHALL BE DELIVERED TO THE GENERAL/PRIME CONTRACTOR AS REQUIRED BY SAME IN TIME FOR THE GC'S FIRST SUBMISSION OF THE PROPOSED PROJECT CONSTRUCTION SCHEDULE BEING SUBMITTED TO THE GOVERNMENT FOR REVIEW.
- GENERAL/PRIME CONTRACTOR RESPONSIBLE FOR COORDINATION
 - THE GENERAL/PRIME CONTRACTOR SHALL BE RESPONSIBLE TO FULLY IDENTIFY, DOCUMENT, MAKE SUBMISSIONS, TRACK, COORDINATE, OBTAIN CONTRACTING OFFICER (CO) APPROVALS AND INCLUDE THE COST OF ALL SUCH EQUIVALENT SUBSTITUTION, WORK IN THEIR COST OF CONSTRUCTION AS WELL AS ALLOWED FOR WITHIN THEIR PROJECT SCHEDULE.
 - THE GENERAL/PRIME CONTRACTOR HAVING BEEN FULLY AWARE OF POTENTIAL EQUIVALENCY SUBSTITUTIONS AND IMPACTS DURING THE BIDDING PROCESS SHALL INCLUDE AND DOCUMENT THIS BOD PROCESS IN THEIR DETAILED PROJECT SCHEDULE ALLOWING A SEPARATE TASK ITEM TIMELINE FOR EACH WITH CRITICAL DATES AND PERFORMANCE TARGETS IDENTIFIED AND TRACKED.
 - THE GENERAL/PRIME CONTRACTOR SHORTLY AFTER CONTRACT AWARD AND EXECUTION SHALL NOTIFY AND COORDINATE WITH THE VA/CO, ALL SUCH KNOWN EQUIVALENT SUBSTITUTION REQUESTS ALONG WITH ALL POSSIBLE IMPACTS FROM THE SPECIFIC BOD REQUIREMENTS PROVIDED IN THE DRAWINGS AND SPECIFICATIONS.
 - ALL SUCH IMPACTS, DEPARTURES, ALTERATIONS OR ADJUSTMENTS REQUIRED TO ELEMENTS OF WORK WILL BE FULLY IDENTIFIED, DOCUMENTED AND SUBMITTED TO THE VA/CO FOR REVIEW, EVALUATION AND DIRECTION(S) ON HOW TO PROCEED.
 - THE GENERAL/PRIME CONTRACTOR WILL ALSO BE RESPONSIBLE TO FULLY IDENTIFY AND COORDINATE ALL EQUIVALENCY SUBSTITUTION IMPACTS WITH ALL AFFECTED CONTRACTORS AND TRADES TO BE SURE THAT ALL SUCH WORK IS INCLUDED IN THEIR SCOPE OF WORK.
- TRACKING LIST OF PROPOSED EQUIVALENT SUBSTITUTIONS AND IMPACTS
 - THE SUCCESSFUL GENERAL/PRIME CONTRACTOR SHALL PREPARE A COMPLETE MASTER LISTING, BY SPECIFICATION AND/OR DRAWING SECTIONS, OF ALL PROPOSED EQUIVALENT SUBSTITUTION REQUESTS.
 - THIS MASTER LISTING WILL CONSIST OF A SUMMARY DESCRIPTION OF EACH REQUEST ALONG WITH A BULLET POINT LISTING OF THE MAJOR IMPACTS, DEPARTURES, ALTERATIONS AND ADJUSTMENTS REQUIRED RESULTING FROM IT.
 - THIS DOCUMENT WILL BE PREPARED AS A SPREAD SHEET AND UTILIZED AS A TRACKING TOOL FOR DOCUMENTING ALL SIGNIFICANT ASSOCIATED DATES, ACTION ITEMS, CURRENT STATUS, REJECTIONS, RESUBMISSIONS, APPROVALS AND ADDITIONAL PERTINENT ISSUES AND ITEMS TO BE RECORDED AND TRACKED AS REQUIRED BY THE VA/CO.

- TRACKING LIST OF PROPOSED EQUIVALENT SUBSTITUTIONS AND IMPACTS
 - THE SUCCESSFUL GENERAL/PRIME CONTRACTOR SHALL SUBMIT TO THE VA/CO FOR PRELIMINARY REVIEW A MASTER SUMMARY LISTING OF ALL EQUIVALENT SUBSTITUTION REQUESTS WITH ANY/ALL IMPACTS IDENTIFIED A MINIMUM OF TWO WEEKS PRIOR TO THE FIRST SUBMISSION OF THEIR PROJECTED PROJECT SCHEDULE.
 - A SEPARATE FULLY DETAILED SUBMISSION DOCUMENTATION PACKAGE SHALL BE PREPARED FOR EACH SUBSTITUTION REQUEST AND WILL CONSIST OF STEPS NUMBER 2, 3, 4 & 5 ALONG WITH ANY ADDITIONAL PERTINENT INFORMATION DEEMED NECESSARY SUCH AS SKETCHES, DETAILED DRAWINGS, ENGINEERING DESIGN AND CALCULATIONS, MORE DETAILED DESCRIPTIONS, ETC. THIS SUBMISSION DOCUMENTATION PACKAGE SHALL BE SUBMITTED WITH THE FIRST SUBMISSION OF THEIR PROJECTED PROJECT SCHEDULE TO THE VA/CO.
- VA REVIEW AND ACTION NOTIFICATION
 - THE VA/CO SHALL REVIEW EACH SUBSTITUTION REQUEST PACKAGE AND TAKE SUCH ACTION AS DEEMED NECESSARY ON EACH. SUCH ACTION COULD CONSIST OF REJECTION, APPROVAL OR DIRECTION ON PROVIDING MORE DETAILED INFORMATION AND/OR CLARIFICATION(S) ON EACH SUBMISSION AND/OR EACH IMPACT.
- VA APPROVAL ALLOWS SHOP DRAWING PROCESS TO BEGIN
 - PRIOR TO THE CONTRACTOR(S) BEING ALLOWED TO PROCEED WITH SHOP DRAWING PREPARATION AND THE OFFICIAL SHOP DRAWING SUBMISSION(S) PROCESS, THEY WILL FIRST NEED TO OBTAIN THE VA/CO APPROVAL(S) ON EACH EQUIVALENT SUBSTITUTION REQUEST THAT WILL AFFECT THE SHOP DRAWING PROCESS FOR THAT SPECIFIC ITEM AND AREA OF WORK.
- IMPLEMENTATION OF SUBSTITUTION(S) AND IMPACT(S)
 - ONCE APPROVED BY THE VA/CO THE CONTRACTORS SHALL PERFORM THEIR FINAL COORDINATION EFFORTS AND BEGIN THE NORMAL SHOP DRAWING PREPARATION AND SUBMITTAL PROCESS INCLUDING PROVIDING ANY ADDITIONAL ENGINEERING WORK NECESSITATED BY THE EQUIVALENT SUBSTITUTION.
 - THE GENERAL/PRIME CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK ASSOCIATED WITH AND IMPACTED BY ANY EQUIVALENT SUBSTITUTION ALONG WITH THE COMPLETE COORDINATION AND MANAGEMENT OF THE WORK WITHOUT ADDITIONAL COST TO THE GOVERNMENT.

SPECIAL SAFETY NOTES

- ALL CONTRACTORS, SUBCONTRACTORS AND THEIR REPRESENTATIVES WORKING ON THIS PROJECT SHALL AT ALL TIMES PRIOR TO AND DURING THE COURSE OF THEIR ACTIVITY BE RESPONSIBLE FOR THE SAFETY OF THEIR EMPLOYEES, ALL OTHERS AND ARE TO BE IN CARE OF THE PROPERTY.
- EACH CONTRACTOR OR SUBCONTRACTOR, AS REPRESENTATIVES OF THEIR EMPLOYEES, SHALL ASCERTAIN THAT THE CONDITIONS UNDER WHICH THEY WILL BE REQUIRED TO ACCOMPLISH THEIR WORK ARE SAFE AND MEET ALL APPLICABLE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HAZARD ACT, ALONG WITH ALL OTHER APPLICABLE GOVERNING REGULATIONS AND VA REQUIREMENTS.
- THE BEGINNING OF WORK ON SITE BY A CONTRACTOR OR SUBCONTRACTOR SHALL INDICATE HIS/HER SATISFACTION AND FULL ACCEPTANCE OF THE CURRENT SITE CONDITIONS REGARDING SAFETY AND THE NECESSARY COMPLIANCE WITH ALL CONTRACT REQUIREMENTS REGARDING SAME. THE CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR ANY ACCIDENTS, INJURIES, AND/OR DAMAGES INCURRED AS A RESULT OF ANY VISIBLE OR KNOWN UNSAFE CONDITIONS THAT EXIST.
- IF UNSATISFIED WITH THE CURRENT SITE SAFETY CONDITIONS AND/OR THE NECESSARY COMPLIANCE, THE CONTRACTOR OR SUBCONTRACTOR SHALL INDICATE THE ACTIONS AND/OR DEVICES NECESSARY TO RENDER THE JOB-SITE SAFE. IF THE WORK OF OTHER PARTIES, UPON INSPECTION, IS FOUND AT ANY TIME TO BE UNSAFE THE CONTRACTOR OR SUBCONTRACTOR SHALL IMMEDIATELY STOP ALL WORK AND NOTIFY THE GENERAL/PRIME CONTRACTOR AND THE VA/CO. THE SUBMISSION OF A BID FOR ANY PORTION OF WORK INCLUDED IN THIS CONTRACT SHALL ALSO INDICATE ACKNOWLEDGMENT AND ACCEPTANCE OF THESE REQUIREMENTS.

11/24/2021 12:11:44 PM

C:\Users\Kholian\Documents\8-133_Architectural_Central_Kholian\ot

VA CONTRACT NO: 36C24519C0171

BID DOCUMENTS SUBMITTAL 100% CONSTRUCTION DOCUMENTS SUBMISSION 07/23/2021 95% CONSTRUCTION DOCUMENTS SUBMISSION 02/12/2021 60% DESIGN DEVELOPMENT SUBMISSION 09/11/2020 30% SCHEMATIC DESIGN SUBMISSION 05/24/2020 Revisions: Date:		CONSULTANT	ARCHITECT/ENGINEER OF RECORD  700 Nicholas Blvd, Suite 300 Elk Grove Village, IL 60007 T: 847.952.9362 F: 847.952.9403 www.bancroft-ae.com	STAMP  U.S. Department of Veterans Affairs	Drawing Title GENERAL-CONTRACTOR & BASIS OF DESIGN PROTOCOL NOTES	Phase BID DOCUMENTS SUBMITTAL	Project Title RENOVATE/UPGRADE NFS KITCHEN - BUILDING 500 BASEMENT	Project Number 613-19-103	
					Approved: Project Director	FULLY SPRINKLERED	Location 510 BUTLER AVENUE, MARTINSBURG, WV 25405	Drawing Number GI001	
							Issue Date 11/24/21	Checked II	Drawn DMKA

OCCUPIED AREA PROTECTION PROTOCOLS

VERIFY AND COORDINATE ALL PROTECTION REQUIREMENTS TO BE PROVIDED FOR EACH SPECIFIC AREA OR LOCATION OF SCHEDULED WORK WITH THE VA/COR, BEFORE BEGINNING ANY WORK. WHEN PERFORMING CONSTRUCTION WORK (DEMOLITION OR NEW) IN OCCUPIED SPACES, THE FOLLOWING PROTECTION PROTOCOLS WILL BE FOLLOWED ON A DAILY BASIS UNLESS MODIFIED IN WRITING BY THE VA/COR ON A CASE BY CASE BASIS:

- CAREFULLY MOVE/RELOCATE ANY SIGNAGE, WALL HUNG ITEMS, BLINDS, CURTAINS, ETC. THAT ARE WITHIN THE AREAZONE WHERE THE WORK IS TO BE ACCOMPLISHED AND IN DANGER OF BEING DAMAGED BY THE PERFORMANCE OF THE WORK, INCLUDING DAMAGE THAT CAN BE CAUSED BY FALLING OBJECTS, DUST OR MOISTURE. NOTE: THIS ALSO APPLIES TO THE DIRECT ACCESS ROUTE(S) THRU THE OCCUPIED AREA(S) TO AND FROM THE ACTUAL WORK AREA/ZONE. NOTE: THE VA/COR WILL BE RESPONSIBLE TO MOVE/RELOCATE ANY FURNITURE, EQUIPMENT, BOXES, FILES, USER BELONGINGS, ETC. THAT WOULD BE IN THE AREA OF WORK AND OBSTRUCT/INTERFERE WITH THE PERFORMANCE OF THE CONTRACTOR'S WORK. COORDINATE ALL REQUIRED VA RELOCATIONS WITH VA/COR.
- CAREFULLY PROVIDE FULL PROTECTIVE DUST, MOISTURE AND DAMAGE PREVENTION BARRIERS/COVERS FOR ALL SUCH ITEMS ADDRESSED ABOVE INCLUDING THE ADDITIONAL PROTECTION OF ALL WALL SURFACES/FINISHES, WINDOWS/GLAZING, DOORS, FRAMES, HARDWARE, CARPETING, FLOOR COVERINGS, WALL BASE, ELECTRICAL DEVICES, WALL/CEILING MOUNTED EQUIPMENT & CONTROLS, CEILING CONSTRUCTION, TILE, GRID, WALL ANGLES, LIGHT FIXTURES, DIFFUSERS, GRILLES, LIFE SAFETY DEVICES, FIRE SPRINKLER HEADS, ETC.
- FLOOR FINISHES SHALL BE PROTECTED THROUGHOUT THE AREA WITH A 6 MIL HEAVY DUTY STRING REINFORCED FIRE RETARDANT POLYETHYLENE SHEETING (VISQUEEN) AND/OR TEMPORARY TARP(AULIN(S)/DROP CLOTH(S)) AS A MINIMUM FOR DUST, MOISTURE AND VERY LIGHT FOOT TRAFFIC PROTECTION.
- ALL MAIN TRAFFIC AREAS TO AND INSIDE THE WORK ZONE/AREAS SHALL HAVE ADDITIONAL PROTECTION PROVIDED OVER THE 6 MIL HEAVY DUTY STRING REINFORCED FIRE RETARDANT POLYETHYLENE SHEETING (VISQUEEN), IN THE FORM OF FULL SHEETS OF 3/16" TEMPERED HARDBOARD (MASONITE) 4'X8' PANELS. ALL MASONITE PANELS SHALL BE FIRMLY HELD TOGETHER AND SECURED IN PLACE VIA THE USE OF AN INDUSTRY APPROVED 2" HEAVY DUTY CONSTRUCTION ADHESIVE TAPE, INTENDED FOR THIS APPLICATION. NOTE: ALL BOARD TO BOARD JOINTS WILL BE FULLY TAPED THE LENGTH OF THE JOINT AND ALL BOARD TO VISQUEEN JOINTS WILL BE TAPED AT 4' ON CENTER WITH A MINIMUM 8' LENGTH OF TAPE. PAINTERS TAPE AND/OR MASKING TAPE ARE NOT CONSIDERED EQUIVALENTS TO THE HEAVY DUTY CONSTRUCTION ADHESIVE TAPE BEING SPECIFIED.
- CONSTRUCT A TEMPORARY FULL HEIGHT, FULLY SEALED, CONTAINMENT ENCLOSURE AROUND ALL CONSTRUCTION AREAS/ZONES IN ORDER TO CONTAIN AS MUCH DUST AND DEBRIS AS POSSIBLE DURING THE PERFORMANCE OF ANY DEMOLITION, CONSTRUCTION AND CLEAN-UP WORK.
- THE TEMPORARY FULL HEIGHT CONTAINMENT ENCLOSURES SHOULD BE CONSTRUCTED OF A MINIMUM 6 MIL HEAVY DUTY STRING REINFORCED FIRE RETARDANT POLYETHYLENE SHEETING (VISQUEEN) WITH THE USE OF THE APPROPRIATE TELESCOPICALLY ADJUSTABLE ALUMINUM OR METAL VERTICAL SPRING LOADED SUPPORT STUDS/POLES. FULL HEIGHT FOAM PADDED RAILS, PRESSURE FIT AT ALL PERIMETER WALL/PARTITION CONNECTION CONDITIONS ARE TO BE UTILIZED IN ORDER TO MINIMIZE THE USE OF TAPE SEALS ON ALL FINISHED WALL SURFACES.
- WHEN ALL WORK IS COMPLETED FOR THE PREARRANGED SPECIFIC LOCATION(S), SCHEDULED TASKING AND IDENTIFIED PERIOD OF TIME THE ENTIRE AREA IS TO BE FULLY CLEANED-UP. ALL TEMPORARY CONTAINMENT ENCLOSURES AND PROTECTION REMOVED WITH ALL ITEMS IDENTIFIED IN NOTE #1 RETURNED TO THEIR PRIOR FUNCTIONING POSITIONS. NOTE: FULLY CLEANED-UP MEANS COMMERCIAL VACUUM CLEANED WITH ALL SURFACES BEING FULLY WIRED DOWN AND DUST FREE AS THE CONTRACTOR ACCEPTED THE AREA/SPACE PRIOR TO PERFORMING THE WORK.
- ALL SPACES WILL BE RETURNED TO THE USER, BY THE CONTRACTOR, AS A COMMERCIAL CLEAN ENVIRONMENT WITH ALL OPEN CONSTRUCTION SURFACES SEALED WITH TEMPORARY CONSTRUCTION MATERIALS INCLUDING THE USE OF 6 MIL HEAVY DUTY STRING REINFORCED FIRE RETARDANT POLYETHYLENE SHEETING (VISQUEEN), IN ORDER TO AVOID DUST PARTICLES FROM THE CONSTRUCTION AREA MIGRATING INTO THE OCCUPIED USER'S AREA/SPACE/ROOM(S).
- UNLESS DIRECTLY SPECIFIED AND CONFIRMED BY THE VA/COR OTHERWISE, ALL TEMPORARY PROTECTION AND ENCLOSURES ARE TO BE SET-UP AND KNOCKED-DOWN ON A DAILY BASIS SUCH THAT THE USERS OF THE OCCUPIED AREAS ARE NOT TO BE INCONVENIENCED AND PREVENTED FROM FUNCTIONING WITHIN THEIR SPACE/AREA/ROOM(S) DURING THEIR NORMAL BUSINESS HOURS OF OPERATION.
- THE BASIS OF DESIGN FOR ALL 6 MIL HEAVY DUTY STRING REINFORCED FIRE RETARDANT POLYETHYLENE SHEETING WILL BE IN FULL COMPLIANCE WITH NFPA 701-04, ASTM E84 AND CPAI 84 SECTION 6. IT SHALL BE MANUFACTURED WITH 3 PLY CONSTRUCTION CONSISTING OF FIRE RETARDANT VIRGIN POLYETHYLENE IN THE (2) OUTER LAYERS OF PLASTIC WITH A DIAMOND SCRIM REINFORCING MESH PLACED BETWEEN.
- MOBILE CONTAINMENT SYSTEMS MAY BE UTILIZED WHERE APPLICABLE, IF APPROVED FOR USE BY THE VA/COR. MOBILE UNITS SHALL BE FULLY EQUIPPED WITH A NEGATIVE AIR HEPA FILTRATION SYSTEM THAT IS IN COMPLIANCE WITH THE INFECTION CONTROL REQUIREMENTS OF EACH SPECIFIC AREA OF WORK AND TASK BEING PERFORMED.
- SEPARATE ALL OCCUPIED AREAS FROM DEMOLITION, RENOVATION, OR CONSTRUCTION ACTIVITIES BY TEMPORARY SMOKE-TIGHT CONSTRUCTION PARTITIONS. PARTITIONS SHALL BE FULL HEIGHT, EXTENDING THROUGH SUSPENDED CEILINGS TO THE FLOOR SLAB OR ROOF DECK ABOVE AND SHALL BE ONE-HOUR FIRE RATED, UNLESS SPRINKLERS ARE INSTALLED AND OPERATIONAL ON BOTH SIDES OF THE TEMPORARY PARTITION.

GENERAL NOTES- WALL AND CEILING PAINT

WHEREVER THE WORK BEING PERFORMED BY THIS PROJECT REQUIRES THE REMOVAL/DEMOLITION FROM, OR THE INSTALLATION OF NEW CONDUIT, JUNCTION BOXES, CABINETS, PANELS, DEVICES, EQUIPMENT, ETC., TO FINISH PAINTED SURFACES, THE CONTRACTOR SHALL PROVIDE ALL PAINTING TO THE EXISTING WALL/CEILING SURFACES AND NEW MATERIALS BEING INSTALLED TO MATCH ALL OF THE EXISTING FINISHED CONDITIONS SO THAT WHEN THE WORK PERFORMED IS COMPLETED IT BLENDS WITH THE EXISTING FINISHING DECOR AND DOESN'T STAND OUT AS BEING A REPAIR. UNFINISHED OR NEW WORK THAT DOESN'T BLEND WITH THE EXISTING CONDITIONS. PAINTING/REPAINTING SHALL OCCUR IN ALL INSTANCES FROM FLOOR TO CEILING AND FROM A WALL CORNER TO A WALL CORNER CHANGE IN PLANE WITH ALL EXISTING PAINTED SURFACES RECEIVING A NEW FINISH COAT AS A MINIMUM, SEE BELOW:

- PROVIDE ALL PAINTING AND RELATED WORK AS SHOWN ON THE DRAWING AND/OR AS REASONABLY IMPLIED BY THE SPECIFICATIONS AND THE PROJECT REQUIREMENTS TO PROVIDE A COMPLETELY FINISHED PROJECT.
- ALL SCRATCHES, DENTS, CRACKS AND/OR OPENINGS ON EXISTING AND NEW WALL SURFACES ARE TO BE FILLED WITH PLASTER PATCH, SPACKLING COMPOUND OR OTHER PRESCRIBED MATERIAL IN AN INDUSTRY APPROVED MANNER AND SANDED SMOOTH TO PROVIDE A "LIKE NEW" SURFACE CONDITION BEFORE PAINTING AND FINISHING.
- ALL SURFACES ARE TO BE CLEANED FREE OF LOOSE DIRT, DUST, OIL, GREASE AND ALL FOREIGN MATTER JUST PRIOR TO FINISHING.
- PROVIDE ALL LABOR, MATERIALS, BRUSHES, TOOLS, LADDERS AND ALL EQUIPMENT OF ANY KIND NECESSARY FOR PROPER EXECUTION OF THE WORK.
- WORKMANSHIP EXECUTION SHALL BE PERFORMED IN AN INDUSTRY RECOGNIZED MANOR DETERMINED TO BE RATED AS FIRST CLASS IN EVERY RESPECT WITH ALL MATERIALS EVENLY SPREAD AND SMOOTH WITHOUT DEFECTS, RUNS, SAGS, OR DEBRIS PRESENT IN THE FINISHED SURFACE.
- THE PRIME COAT SHALL BE TINTED TO APPROXIMATE SHADE OF FINAL COAT. ALL SECTIONS, SPOTS OR HOT SPOTS AFTER PRIMARY APPLICATION SHALL BE TOUCHED-UP BEFORE APPLYING THE SECOND COAT TO PRODUCE A SMOOTH AND LEVEL SURFACE. THE FINAL COAT SHALL NOT BE APPLIED UNTIL AFTER ALL OTHER TRADES, WHOSE OPERATIONS WOULD BE DETRIMENTAL TO FINISH PAINTING, HAVE FINISHED THEIR WORK IN THE AREAS TO BE PAINTED.
- WORK NOT INCLUDED: UNLESS OTHERWISE INDICATED, SHOP PRIMING OF FERROUS METAL ITEMS AND FABRICATED COMPONENTS ARE INCLUDED UNDER THEIR RESPECTIVE TRADES. PRE-FINISHED ITEMS ARE NOT INCLUDED. FINISHED METALS SUCH AS ANODIZED ALUMINUM, STAINLESS STEEL, BRONZE, AND SIMILAR METALS WILL NOT BE PAINTED, UNLESS OTHERWISE SPECIFIED. DO NOT PAINT ANY MOVING PARTS OF OPERATING UNITS, OR OVER ANY EQUIPMENT IDENTIFICATION, PERFORMANCE RATINGS, NAMES OR NOMENCLATURE PLATES OR CODE-REQUIRED LABELS.
- PROTECT WORK OF OTHER TRADES. CORRECT ANY PAINTING RELATED DAMAGES BY CLEANING, REPAIRING OR REPLACING, AND REFINISHING, AS DIRECTED BY THE COR.
- PROPERLY PREPARE ALL SURFACES TO RECEIVE FINISHES AND APPLY PRIME COATS, PAINTING AND FINISHING MATERIALS IN ACCORDANCE WITH EACH MANUFACTURER'S DIRECTIONS FOR A QUALITY APPLICATION. USE APPLICATORS AND TECHNIQUES BEST SUITED FOR MATERIALS AND SURFACES TO WHICH APPLIED.
- APPLY ADDITIONAL COATS WHEN UNDERCOATS, STAINS OR OTHER CONDITIONS SHOW THROUGH FINAL PAINT OR FINISHED COAT, UNTIL THE SURFACE FILM IS OF UNIFORM FINISH COLOR AND APPEARANCE.
- APPLY EACH MATERIAL AT NOT LESS THAN THE MANUFACTURER'S RECOMMENDED SPREADING RATE. TO PROVIDE A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 2.5 MILS FOR ENTIRE COATING SYSTEM OF (1) PRIME AND (2) FINISH COATS FOR 3 COAT WORK ON PAINTED SURFACES. COR SHALL INSPECT BETWEEN EACH PRECEDING COAT.
- PAINTED SURFACE PREPARATION: COMPLY WITH PAINT MANUFACTURER'S RECOMMENDATIONS FOR EACH MATERIAL TYPE AND SURFACE FINISH TO BE PROVIDED AS PER THEIR REFERENCE GUIDE AND SPECIFICATIONS.
- METAL SURFACE PREPARATION - ALL METAL SURFACES TO BE PAINTED MUST BE CLEAN AND FREE OF RUST, MILL SCALE, GREASE, OIL, DIRT AND OTHER FOREIGN MATTER. ALL ALUMINUM MUST BE CLEANED WELL IN ORDER TO REMOVE ALL SURFACE FILM AND OILS, AND SHALL BE PROPERLY PRIMED IN ACCORDANCE WITH THE PAINT MANUFACTURER'S RECOMMENDATIONS.
- ALL PAINTING WORK SHALL BE COMPLETED WITHIN WHAT THE INDUSTRY UNIVERSALLY RECOGNIZES AS TOP QUALITY WORKMANSHIP FROM UTILIZING INDUSTRY RECOGNIZED BEST PRACTICES APPLICATION PROCEDURES FOR ALL COATS/APPLICATIONS. ALL COMPLETED WORK WILL REQUIRE VA/COR APPROVAL.

CEILING GENERAL NOTES

- CENTER ALL CEILING GRIDS IN ROOMS TO MAXIMUM EXTENT POSSIBLE, UNLESS OTHERWISE NOTED. SEE CEILING PLANS FOR COMPLETE INFORMATION. COORDINATE WITH SPRINKLER, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
- CENTER ALL FIXTURES WITHIN CEILING TILE UNLESS OTHERWISE NOTED. COORDINATE WITH ELECTRICAL DRAWINGS.
- REFER TO ROOM FINISH SCHEDULE FOR CEILING HEIGHTS, SHEET I-601.
- COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL CEILING ACCESS POINTS WHICH MAY BE REQUIRED AT AREAS FOR MECHANICAL AND ELECTRICAL SERVICE WORK.
- ALL ELECTRICAL AND SAFETY DEVICES SHALL BE CENTERED IN CEILING GRIDS AND COORDINATE WITH ELECTRICAL DRAWINGS.
- COORDINATE THE LOCATIONS OF MECHANICAL SUPPLY AND RETURN GRILLES WITH MECHANICAL DRAWINGS.
- RELOCATE EXISTING SPRINKLER HEADS AS PER NEW REFLECTED CEILING PLAN GRIDS.
- RELOCATE EXISTING SPRINKLER HEADS WHERE SPRINKLER HEADS CONFLICT WITH LIGHTING, GRIDS OR DEVICES.
- COORDINATE LOCATION WITH DIFFUSERS AND LIGHTING LAYOUT.
- SPRINKLER MAIN TO REMAIN.

SECURITY, FIRE PROTECTION AND CONTROL SYSTEM NOTES

- THIS WORK ENTAILS INTERFACING WITH PROPRIETARY IT SYSTEMS: FIRE PROTECTION, ALARMING, SECURITY AND CONTROLS.
- INFORMATION ON THESE SYSTEMS IS CONTROLLED BY SPECIFIC SYSTEMS CONTRACTORS
- CONTRACTOR SHALL WORK WITH VA AND SYSTEMS CONTRACTORS TO DETERMINING WIRE ROUTING, WIRING TYPES FOR EACH SYSTEM, END POINTS OF CONTRACTOR INSTALLED WIRING AND ANY MODIFICATIONS REQUIRED TO SYSTEMS HARDWARE.
- ALL WIRING ON THESE SYSTEMS IF SHOWN AS "TYPICAL" AND MAY BE REVISED BASED ON SYSTEMS CONTRACTORS GUIDANCE.

CONSTRUCTION PERIOD STAGING OF WORK -GENERAL NOTES

NORMAL WORK SHIFT HOURS FOR THE MARTINSBURG VETERAN AFFAIRS MEDICAL CENTER IS 7:00 AM UNTIL 4:30 PM DAILY, MONDAY THROUGH FRIDAY

- CERTAIN WORK ITEMS AND CONSTRUCTION ACTIVITIES THAT CREATE NOISE, DUST, VIBRATIONS AND THAT WOULD CREATE DISTURBANCES TO THE MEDICAL CENTER AND/OR ANY OF THE ADJACENT OCCUPIED AREAS WILL NEED TO BE PERFORMED DURING PERIODS OF AFTER-HOURS/OFF-HOURS WORK. ITEMS THAT WILL REQUIRE AFTER-HOURS ACTIVITIES SHALL BE FULLY COORDINATED WITH VA COR PRIOR TO START OF CONSTRUCTION.
- AFTER-HOURS/OFF-HOURS OF OPERATION SHALL BE SCHEDULED FOR THE FOLLOWING DAYS AND TIMES AS COORDINATED, SCHEDULED AND AUTHORIZED BY THE COR:
 - MONDAY THROUGH FRIDAY - 5:00 PM UNTIL 6:00 AM
 - WEEKENDS (AS ALLOWED) - TIMES TO BE DETERMINED WITH THE COR
- THE FOLLOWING CONSTRUCTION ACTIVITIES SHALL BE CONSIDERED AFTER-HOURS/OFF-HOURS OPERATIONS:
 - THE MOVING OF CONSTRUCTION MATERIALS, EQUIPMENT, TOOLS AND/OR DEMOLITION MATERIALS TO/FROM THE EXTERIOR TO INTERNAL AREAS OF WORK
 - ALL WORK IN THE ADJACENT OCCUPIED SPACES TO THE CURRENT STAGE/AREA OF WORK
 - ALL WORK THAT WILL REQUIRE SYSTEM SHUTDOWNS
 - ALL CONCRETE OR METAL DECKING CORING, CUTTING OR DRILLING
 - THE APPROVED USE OF POWER ACTUATED FASTENERS
 - ALL WORK (DEMOLITION OR NEW) THAT WILL CAUSE IMPACT NOISE AND VIBRATIONS THAT CAN BE HEARD OR FELT IN THE SURROUNDING ADJACENT OCCUPIED SPACES/AREAS
 - CONTRACTOR MUST PARK WITHIN APPROVED CONSTRUCTION AREA OR AT DESIGNATED AREAS AT FAR PORTIONS OF EXISTING CAMPUS PARKING LOTS. CAMPUS PARKING IS LIMITED AND PRIORITY IS GIVEN TO PATIENTS AND STAFF.
- WEEKEND AND HOLIDAY HOURS SHALL BE FROM 8:00 A.M. TO 4:00 P.M. COORDINATE WITH VA COR PRIOR TO START OF CONSTRUCTION.

GENERAL SCOPE OF WORK(SOW) DESCRIPTION

GENERAL

- THE SCOPE OF THIS PROJECT IS TO RENOVATE APPROXIMATELY 16000 GSF OF INTERIOR SPACE FOR RENOVATION OF NUTRITION AND FOOD SERVICE KITCHEN ON THE BASEMENT FLOOR AND APPROXIMATELY 5000 GSF OF SWING SPACE LOCATED IN THE WAREHOUSE AREA ON THE BASEMENT FLOOR. INCLUDES PLUMBING, MECHANICAL, ELECTRICAL, FIRE PROTECTION, AND SPRINKLER SYSTEMS.
- THE SCOPE OF THIS PROJECT WILL INCLUDE NEW AIR HANDLING AND MAKE UP AIR UNITS AND ADDITIONAL EQUIPMENT WHICH SUPPORT THE BASEMENT RENOVATION.
- THE SCOPE OF THIS PROJECT INCLUDES A TEMPORARY AIR HANDLING UNIT IN AN EXTERIOR LOCATION, SUPPORTING NSF NEEDS DURING THE PERIOD OF PHASED CONSTRUCTION.

DESIGN CONDITIONS

- PROVIDE NEW WALLS, FINISH FLOORING, AND FINISH CEILINGS.
- PROVIDE NEW LIGHTING, POWER AND FIRE ALARM SYSTEMS.
- MODIFY EXISTING SPRINKLER SYSTEM TO ACCOMMODATE AREA OF WORK IN BASEMENT FLOOR.
- PROVIDE NEW AIR HANDLING UNIT IN EXISTING MECHANICAL ROOM.
- PROVIDE NEW MAKE UP AIR UNIT IN EXISTING MECHANICAL ROOM.
- PROVIDE NEW GREASE INTERCEPTOR, REFRIGERATION SYSTEM AND PLUMBING FIXTURES.

MISCELLANEOUS

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD PRIOR TO COMMENCING WORK.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF DIMENSIONS SHOWN ON THE DRAWINGS. NOTIFY THE VA/COR OF ANY DISCREPANCY BEFORE STARTING WORK.
- A SUCCESSFUL REVIEW OF SHOP DRAWINGS AND SUBMITTALS BY THE ARCHITECT/ENGINEER DOES NOT RELIEVE CONTRACTOR OF THE RESPONSIBILITY TO REVIEW AND CHECK SHOP DRAWINGS BEFORE SUBMITTAL TO VA/COR. THE CONTRACTOR REMAINS SOLELY RESPONSIBLE FOR ERRORS AND OMISSIONS ASSOCIATED WITH THE PREPARATION OF SHOP DRAWINGS AS THEY PERTAIN TO DETAILS AND GIVEN DIMENSIONS IN THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL OBTAIN VA/COR WRITTEN APPROVAL PRIOR TO PROCEEDING WITH ANY CHANGES FROM THE INFORMATION PROVIDED HEREIN.

FLOOR PLAN LEGEND

-  AREA NOT IN CONTRACT
-  EXISTING PARTITION WALL
-  NEW PARTITION WALL
-  EXISTING DOOR
-  NEW DOOR

CONSULTANT

ARCHITECT/ENGINEER OF RECORD

STAMP

BID DOCUMENTS SUBMITTAL	11/24/2021
100% CONSTRUCTION DOCUMENTS SUBMISSION	07/23/2021
95% CONSTRUCTION DOCUMENTS SUBMISSION	02/12/2021
60% DESIGN DEVELOPMENT SUBMISSION	09/11/2020
30% SCHEMATIC DESIGN SUBMISSION	05/24/2020
Revisions:	Date:



BANERCROFT ARCHITECTS + ENGINEERS
 700 Nicholas Blvd, Suite 300
 Elk Grove Village, IL 60007
 T: 847.952.9362 F: 847.952.9403
 www.banercroft-ae.com

Office of Construction and Facilities Management



Drawing Title
 GENERAL- PROTECTION PROTOCOL, SCOPE OF WORK AND MISC. NOTES

Approved: Project Director

Phase
 BID DOCUMENTS SUBMITTAL

FULLY SPRINKLERED

VA CONTRACT NO: 36C24519C0171

Project Title RENOVATE/UPGRADE NFS KITCHEN - BUILDING 500 BASEMENT	Project Number 613-19-103
Location 510 BUTLER AVENUE, MARTINSBURG, WV 25405	Drawing Number GI002
Issue Date 11/24/21	Checked II
Drawn DMKA	

DEMOLITION PLAN LEGEND

-  EXISTING CONSTRUCTION TO REMAIN
-  EXISTING CONSTRUCTION TO BE REMOVED, INCLUDING ALL MOUNTED ACCESSORIES, CORNER GUARDS, HANDRAILS, ETC. PATCH ABUTTING WALLS, FLOORS, CEILINGS AND ROOF AS REQUIRED. REMOVE EXISTING ITEMS SCHEDULED TO REMAIN AS NECESSARY TO ALLOW THE COMPLETE DEMOLITION OF SELECTED ITEMS. REPAIR/REPLACE EXISTING ITEMS ONCE DEMOLITION IS COMPLETED.
-  EXISTING DOOR TO BE REMOVED
-  EXISTING 2 HOUR FIRE & SMOKE SEPARATION
-  EXISTING 1 HOUR FIRE & SMOKE SEPARATION
-  AREA OF NO WORK - EXCEPT WHERE OTHERWISE NOTED IN MEP AND FP DRAWINGS.
-  AREA OF FLOOR DEPRESSION

GENERAL DEMOLITION NOTES

GENERAL NOTES FOR CONTRACTORS: SEE ALL PROJECT GENERAL NOTES AND OTHER REQUIREMENTS INCLUDING THE LIFE SAFETY AND INFECTION CONTROL WORK LOCATED WITHIN THE GENERAL DRAWINGS SECTION. COMPLY WITH ALL REQUIREMENTS AS THEY ARE A DIRECT PART OF THIS SECTION AS IF THEY WERE DIRECTLY INCLUDED AND PROVIDED HEREIN.

PROTECTION PROTOCOLS: VERIFY AND COORDINATE ALL PROTECTION REQUIREMENTS TO BE PROVIDED FOR EACH SPECIFIC AREA OR LOCATION OF SCHEDULED WORK WITH THE VA/COR. BEFORE BEGINNING ANY WORK WHEN PERFORMING DEMOLITION WORK IN ANY OCCUPIED SPACES FOLLOW THE "OCCUPIED AREAS PROTECTION PROTOCOLS" UNLESS MODIFIED IN WRITING BY THE VA/COR ON A CASE BY CASE BASIS.

1. BEFORE BEGINNING ANY DEMOLITION WORK EACH CONTRACTOR AND DISCIPLINE SHALL PERFORM A FULL EXAMINATION OF ALL AREAS OF WORK AND FULLY VERIFY ALL EXISTING CONDITIONS ALONG WITH ALL OF THE AREAS OF WORK FOR ANY UNFORESEEN CONDITIONS OR DISCREPANCIES FROM THE DOCUMENTATION THAT WOULD AFFECT THEIR WORK AND/OR THE WORK OF OTHERS. ANY UNFORESEEN CONDITIONS OR DISCREPANCIES DISCOVERED ARE TO BE IMMEDIATELY IDENTIFIED AND COORDINATED WITH THE GENERAL/PRIME CONTRACTOR WHO SHALL IN TURN DOCUMENT AND PROMPTLY REPORT ANY SUCH CONDITIONS DIRECTLY TO THE VA/COR FOR DIRECTION ON HOW TO PROCEED BEFORE ALLOWING ANY WORK TO BEGIN.

2. ALL REQUIRED DEMOLITION WORK IS NOT NECESSARILY LIMITED TO WHAT IS ONLY SPECIFICALLY SHOWN OR DIRECTLY CALLED OUT ON THE DEMOLITION PLANS OR THAT IS ONLY SPECIFICALLY IDENTIFIED WITHIN THE DEMOLITION NOTES DESCRIPTIONS. THE INTENT OF THE DOCUMENTATION IS TO GENERALLY IDENTIFY THE MORE SPECIFIC MAJOR ELEMENTS OF WORK IN PLACE THAT SHALL REQUIRE REMOVAL AND/OR REWORK IN ORDER TO ACCOMPLISH THE DESIGN INTENT OF THE DOCUMENTS. THE FULL EXTENT OF DEMOLITION WORK COULD INCLUDE BUT NOT NECESSARILY BE LIMITED TO ALL AFFECTED LESSER ELEMENTS OF ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, MEDICAL GASES, FIRE PROTECTION SPRINKLER SYSTEMS AND ALL ELECTRICAL SYSTEMS WORK INCLUDING HIGH AND LOW VOLTAGE POWER, COMMUNICATION SYSTEMS SUCH AS CCTV, SECURITY, IT DATA, LIFE SAFETY, FIRE PROTECTION, NURSE CALL, PA, BAS CONTROLS SYSTEMS, TEMPERATURE AND OTHERWISE, ETC.

3. ALL REQUIRED DEMOLITION WORK IS NECESSARY TO FACILITATE THE EXTENT OF BOTH THE NEW CONSTRUCTION WORK AS WELL AS TO FACILITATE THE REPLACEMENT, RELOCATION AND/OR THE REWORKING OF THE EXISTING SYSTEMS. ANY REWORKING OF THE CURRENT ELEMENTS AND COMPONENTS CURRENTLY NEEDING TO BE MODIFIED IN ORDER TO PROPERLY SUPPORT THE COMPLETED PROJECT SHALL BE PROVIDED AS INTENDED TO CONFORM WITH THE ORIGINAL DESIGN INTENT WHETHER SPECIFICALLY CALLED FOR IN GREAT DETAIL WITH EVERY ANCILLARY ELEMENT FULLY NAMED AND IDENTIFIED OR AS CALLED OUT AS A GENERAL COMPONENT PORTION OF WORK THAT NEEDS TO BE PROPERLY REMOVED IN ORDER TO COMPLETE THE SCOPE OF WORK AS INTENDED TO COMPLY WITH ALL BASIS OF DESIGN REQUIREMENTS.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE DEMOLITION AND REMOVAL OF ALL EXISTING WALLS, CEILINGS, SUSPENSION SYSTEMS, FLOORING, ELECTRICAL, TELEPHONE AND PLUMBING CONSTRUCTION AS WELL AS ALL MATERIALS, FINISHES AND EQUIPMENT THAT IS NOT SPECIFICALLY SHOWN OR CALLED FOR AS REQUIRED TO FACILITATE THE NEW CONSTRUCTION WORK INSIDE THE CONTRACT AREA, THE ADJACENT SPACES AND THE SPACES ABOVE AND BELOW. SOME ADDITIONAL ITEMS THAT MAY NOT BE SPECIFICALLY SHOWN IN GREAT DETAIL ON THE DEMOLITION PLAN THAT ARE A PART OF THE DEMOLITION WORK, BUT NOT LIMITED TO, ARE CASEWORK, SHELVING, BRACKETS, STANDARDS, DOOR HARDWARE, MISCELLANEOUS OTHER HARDWARE, SIGNAGE, FLOORING MATERIALS, WALL BASE, WOOD GROUNDS, WALL COVERING MATERIALS, BACKING LINERS OR BOARDS, ANY REMAINING MASTIC, GROUT, CAULKING AND SEALANTS, EXPOSED ANCHORS AND FASTENERS, FRAMING MATERIALS, BACKER BOARDS OR METAL PLATES, CHAIR RAILS, BRACKETS, HOOKS, SURFACE MOUNTED OR RECESSED ACCESSORIES, PRIVACY CURTAINS AND TRACKS, ETC.

5. ALL DEMOLITION WORK SHALL BE PERFORMED IN A SYSTEMATICALLY SAFE FULLY SUPERVISED COORDINATED AND PROPERLY MANAGED SEQUENCE OF WORK UNDER THE DIRECT SUPERVISION OF THE GENERAL/PRIME CONTRACTOR'S SUPERINTENDENT AND/OR THEIR MANAGEMENT PERSONNEL INCLUDING THE PERFORMANCE OF ANY ANCILLARY ELEMENTS OF SELECTIVE DEMOLITION.

6. ALL DEMOLITION, THE HANDLING OF MATERIALS AND EQUIPMENT ALONG WITH THE MOVEMENT OF THESE ELEMENTS THROUGHOUT THE FACILITY SHALL BE PERFORMED SO AS TO PREVENT DAMAGE TO ADJACENT IMPROVEMENTS AND FACILITIES TO REMAIN AS WELL AS TO PROVIDE SAFETY FOR ALL TRADES/PEOPLE, STAFF, RESIDENTS/PATIENTS, VISITORS AND SERVICE PROVIDERS.

7. PROVIDE ALL PHYSICAL AND ENVIRONMENTAL PROTECTIVE MEASURES AS REQUIRED BY THE PROJECT DOCUMENTS, VA FEDERAL AND LOCAL REQUIREMENTS, APPLICABLE OSHA REGULATIONS, THE STATION AND ALL LOCAL INFECTION CONTROL AUTHORITIES, NFPA REQUIREMENTS, THE VA/COR AND ALL OTHER REGULATORY AGENCIES AND VA AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.

8. PROVIDE ALL TEMPORARY PARTITIONS, PROTECTION, DOOR ACCESS UNITS, ENCLOSURES, WALKWAYS, FENCING, RAILINGS, CANOPIES, AIR FILTRATION DEVICES, VESTIBULES, AIRLOCKS, ETC., WHERE REQUIRED BY THE CONTRACT DOCUMENTS, THE VA/COR AND ALL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT AND SHALL BE SURE TO MAINTAIN ADEQUATE AND SAFE EMERGENCY MEANS OF EGRESS FROM ALL AREAS. ALL SUCH WORK NEEDING TO BE PROVIDED WILL REQUIRE VA/COR REVIEW AND APPROVAL BEFORE BEGINNING ANY OF SUCH WORK.

9. GREAT CARE SHALL BE TAKEN WHEN PERFORMING SELECTIVE DEMOLITION IN THE UTILIZATION OF MORE SENSITIVE AND LESS EVASIVE METHODS OF DEMOLITION/REMOVAL, AS WELL AS PROVIDING THE APPROPRIATE ENHANCED PROTECTIVE BARRIERS IN ORDER TO PROVIDE FOR THE LEAST AMOUNT OF DAMAGE TO THE WORK THAT IS TO REMAIN IN PLACE. EXISTING FINISHED SURFACES, MATERIALS AND EXPOSED EQUIPMENT THAT WOULD RECEIVE SIGNIFICANT AMOUNTS OF SURFACE DAMAGE AND WOULD REQUIRE SIGNIFICANT AMOUNTS OF PATCHING, REPAIRS AND REFINISHING WORK SHALL BE DEEMED AS DAMAGED AND UNUSABLE AND WILL NEED TO BE REPLACED IN WHOLE BY THE RESPONSIBLE CONTRACTOR AND ITS REPLACEMENT ONCE COMPLETED WILL NEED TO RECEIVE VA/COR APPROVAL.

10. WHERE EXISTING FLOOR FINISHES ARE TO BE FULLY REMOVED TO ALLOW FOR THE INSTALLATION OF NEW, PROVIDE FOR THE COMPLETE REMOVAL OF THE EXISTING FLOOR FINISHES ALONG WITH ALL ASSOCIATED ATTACHMENT SYSTEMS SUCH AS MASTICS, ADHESIVES, TACKLES STRIPS, STAPLES, SETTING BEDS OF GROUT, MORTAR OR CONCRETE, CARPET PADDING, ATTACHED SUBFLOORING MATERIALS, ETC. AS REQUIRED TO GET DOWN TO THE EXISTING STRUCTURAL FLOOR SUBSTRATE THAT CAN BE PROPERLY PATCHED, REPAIRED, LEVELED AND MADE READY TO RECEIVE THE NEW FLOOR FINISHES.

11. ITEMS INDICATED TO BE REMOVED AND SALVAGED FOR THE VA SHALL REMAIN THE VA'S PROPERTY AND SHALL BE CAREFULLY REMOVED, CLEANED AND PROTECTED FROM DAMAGE BY THE CONTRACTOR RESPONSIBLE AT ALL TIMES. ALL SUCH ITEMS INDICATED TO BE SALVAGED WILL BE PACKAGED AND/OR CRATED AS REQUIRED BY THE VA/COR TO PROPERLY PROTECT THEM FROM DAMAGE CAUSED BY THE HANDLING, MOVING AND/OR THE STORAGE OF THESE ITEMS. ALL PACKAGES AND/OR CRATES OF ITEMS SHALL HAVE THEIR CONTENTS CLEARLY MARKED AND FULLY IDENTIFIED ON BOTH THE TOP AND ONE SIDE OF EACH CONTAINER TO BE COORDINATED WITH AND APPROVED BY THE VA/COR. DELIVER ALL SALVAGED MATERIALS TO THE LOCATIONS INDICATED IN THE PROJECT DOCUMENTATION OR TO THE GOVERNMENTS DESIGNATED STORAGE FACILITY ON THE STATIONS CAMPUS AS DIRECTED BY THE VA/COR.

12. UNLESS OTHERWISE INDICATED OR STATED TO BE SAVED, SALVAGED OR IDENTIFIED AS NEEDING TO REMAIN OR BE RELOCATED AND/OR REUSED, ALL ITEMS IDENTIFIED TO BE REMOVED, DEMOLISHED, SCRAPED, ETC. BECOMES THE PROPERTY AND RESPONSIBILITY OF THE CONTRACTOR AND AS SUCH IT IS THEIR RESPONSIBILITY TO REMOVE ALL SUCH ITEMS FROM THE SITE ON A DAILY BASIS UNLESS OTHERWISE APPROVED BY THE VA/COR.

13. DEMOLITION ITEMS OF VALUE TO THE CONTRACTOR(S) ARE NOT TO BE STORED ON SITE AND NEED TO BE REMOVED ON A DAILY BASIS UNLESS OTHERWISE APPROVED BY THE VA/COR.

14. ALL ITEMS OF WORK THAT ARE IDENTIFIED AS EXISTING TO BE REMOVED AND REUSED/REINSTALLED SHALL BE CAREFULLY DISCONNECTED, DETACHED, REMOVED AND DISASSEMBLED AS REQUIRED FOR CONVENIENCE AND EASE OF HANDLING, MOVING, STORAGE AND FOR THEIR PROTECTION FROM DAMAGE. ALL SUCH ITEMS ARE TO BE INDIVIDUALLY WRAPPED, BOXED OR PLACED IN CARTONS FOR THE EASE OF HANDLING THE MATERIALS AND THEIR PLACEMENT IN A VA/COR IDENTIFIED PROTECTED STORAGE AREA (TBD) LOCATED ON THE STATION BUT NOT NECESSARILY CONVENIENT TO THE SITE OF THE WORK. EACH ITEM SHALL BE FULLY CLEANED, FREE FROM DAMAGE, PREPARED FOR SERVICE AND FULLY TESTED TO VERIFY ITS ABILITY FOR PROPER FUNCTIONAL REUSE PRIOR TO BEING PLACED IN STORAGE. THE CONTRACTOR TAKES RESPONSIBILITY FOR AND CERTIFIES ITS PERFORMANCE CAPABILITIES AND THE FACT THAT IT IS NOT DAMAGED AND FULLY CAPABLE FOR REUSE WHEN READY FOR ITS REINSTALLATION. IN THE EVENTUALITY THAT AN ITEM IS ULTIMATELY FOUND TO BE DAMAGED OR INOPERABLE AT THE POINT OF REINSTALLATION THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A NEW ITEM/DEVICE ALONG WITH ALL ANCILLARY SUPPORT WORK AND EQUIPMENT NECESSARY TO FULLY REPLACE THE EXISTING.

15. WHERE EXISTING MATERIALS, ITEMS OR EQUIPMENT ARE TO BE REMOVED FOR THEIR REPLACEMENT IN THE SAME LOCATION BY THE SAME OR SIMILAR NEW MATERIALS, ITEMS OR EQUIPMENT, CAREFULLY DISCONNECT, DETACH, DISASSEMBLE IF REQUIRED, REMOVE AND DISPOSE OF THE ITEMS INDICATED ALONG WITH ANY AND ALL ANCILLARY SYSTEM COMPONENTRY OR SUPPORT ITEMS ADDITIONALLY IDENTIFIED OR REQUIRED TO BE REPLACED.

16. WHERE STRUCTURAL SUPPORT OF EXISTING CONSTRUCTION ELEMENTS OR PORTIONS OF STRUCTURAL ELEMENTS TO REMAIN IS REQUIRED THE RESPONSIBLE CONTRACTOR PERFORMING THE WORK SHALL PROVIDE AND MAINTAINING ALL NECESSARY STRUCTURAL SUPPORTS, SHORING, STIFFENERS, BRACING, BEAMS, COLUMNS, FOOTINGS AND SUPPORTS AS NECESSARY TO ENSURE THE STABILITY OF THE ELEMENTS BEING SUPPORTED AND TO ADEQUATELY DISTRIBUTE ANY TEMPORARY LOADING SO AS NOT TO OVER LOAD ANY OF THE EXISTING STRUCTURE AND THE CONSTRUCTION BELOW. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STRUCTURAL ENGINEERING ANALYSIS, CALCULATIONS AND SOLUTIONS FOR PROVIDING ANY SUCH WORK AND WILL NEED TO PROVIDE ALL SUCH PROPER DOCUMENTATION PREPARED BY A LICENSED STRUCTURAL ENGINEER TO THE VA/COR AS A SHOP DRAWING SUBMITTAL FOR PROPER REVIEW AND APPROVAL BEFORE BEING ALLOWED TO BEGIN ANY SUCH WORK.

17. ALL EXISTING CONSTRUCTION OR ITEMS INDICATED TO REMAIN IN PLACE AND OPERATION SHALL BE PROTECTED FROM DAMAGE BOTH DURING THE DEMOLITION OPERATIONS AS WELL AS THE NEW CONSTRUCTION EFFORTS. WHERE PRACTICABLE, AND WITH THE VA/COR'S APPROVAL, THE CONTRACTOR MAY ELECT TO REMOVE SUCH ITEMS TO A SUITABLE STORAGE LOCATION DURING THE DEMOLITION PHASE AND THEN PROPERLY CLEAN AND REINSTALL THE ITEMS WHEN APPLICABLE. IN NO CASE SHALL ANY LIFE SAFETY DEVICES, SYSTEMS OR MEASURES BE COMPROMISED BY THE TEMPORARY REMOVAL OF ANY NECESSARY ELEMENTS OF WORK. FOR THE CONVENIENCE OF THE CONTRACTOR, THAT WERE NOT PROPERLY REPLACED IN KIND WITH A SIMILAR PROPERLY OPERATING TEMPORARY DEVICE.

18. DURING THE COURSE OF SELECTIVE DEMOLITION OR REMOVAL OPERATIONS AND THE EXISTING SUBSTRATE MATERIALS/CONSTRUCTION IS DAMAGED BEYOND REASONABLE REPAIR, THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY REPLACE THE ENTIRE DAMAGED SECTION AND/OR SECTIONS. THIS DAMAGED AREA SHALL BE REMOVED AND REPLACED AS REQUIRED TO REPAIR THE SUBSTRATE TO A LIKE NEW CONDITION THAT CONTAINS NO IRREGULAR JOINT CONNECTIONS, CONDITIONS, DEFECTS, WEAKNESS OR WILL CAUSE ADVERSE EFFECTS THAT WILL RESULT IN ANY DIFFERENTIAL FINISHED SURFACE CONDITIONS OR AREAS OF JOINT WEAKNESS THAT WILL RESULT IN SURFACE CRACKING AND BE APPARENT THAT THE CONDITION IS IN FACT A PATCH/REPAIR.

19. REFER TO ALL ENGINEERING DISCIPLINE DRAWINGS AND DOCUMENTATION FOR THE BASIC EXTENT BEING REQUIRED FOR ALL INFRASTRUCTURE AND SYSTEMS DEMOLITION AS WELL AS FOR IDENTIFYING ALL EXISTING EQUIPMENT, PIPING, CONDUITS, DUCTWORK, WIRING, CONTROLS, ETC. THAT ARE INTENDED TO REMAIN WITHIN ANY OF THE AREAS OF DEMOLITION, THE AREAS OF REWORKING OF EXISTING SYSTEMS AND THE AREAS OF NEW WORK.

20. UNLESS OTHERWISE NOTED ALL EXISTING PARTITION CONSTRUCTION WITHIN THE PROJECT AREA OF WORK SCHEDULED TO RECEIVE NEW FINISHES SHALL HAVE ALL EXISTING FINISHES REMOVED INCLUDING BUT NOT LIMITED TO ALL CERAMIC TILE, VINYL, WALL COVERING, WOOD PANELING, WAHNSCOT MATERIALS, GROUT, MASTIC, WALL COVERING BACKING, WALL BASE, ADHESIVE, STAPLES, EXPOSED FASTENERS, ETC. SUCH THAT THE SUB-STRAIGHT WALL/PARTITION SURFACES REQUIRE NO FURTHER DEMOLITION AND ARE PREPARED TO RECEIVE ALL REQUIRED PATCHING, REPAIRS, RESURFACING AND REFINISHING AS REQUIRED TO RECEIVE THE NEW FINISHES.

21. ALL FINISHED AREAS ADJACENT TO OR INCLUDED WITHIN THE AREA(S) OF CONSTRUCTION ALONG WITH ALL PUBLIC PROJECT ACCESS ROUTES SHALL BE PROTECTED FROM DUST AND DIRT THROUGH THE USE OF VA/COR APPROVED DUSTPROOF PROTECTION. SEE THE OCCUPIED AREA PROTECTION PROTOCOLS PROVIDED IN THE "GENERAL" DRAWINGS SECTION AND COORDINATE ALL SITE SPECIFIC CONDITIONS IMPACTS ENCOUNTERED WITH THE VA/COR.

22. ALL NEW WORK ALONG WITH ANY PORTIONS OF EXISTING EQUIPMENT, MATERIALS OR REWORKED ELEMENTS WHEN COMPLETED SHALL FULLY COMPLY WITH ALL BASES OF DESIGN REQUIREMENTS.

23. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO ADEQUATELY PROTECT EXISTING CONSTRUCTION AND FINISHES TO REMAIN IN PLACE DURING BOTH THE DEMOLITION AND CONSTRUCTION SEQUENCES OF WORK. ANY DAMAGE TO SUCH AREAS SHALL BE RESTORED AND REFINISHED TO A "LIKE-NEW" CONDITION PRIOR TO THE VA/COR'S ACCEPTANCE OF THAT WORK.

24. THE GENERAL/PRIME CONTRACTOR IS RESPONSIBLE FOR THE PATCH, REPAIR, REFINISHING AND/OR REPLACEMENT OF ALL CONSTRUCTION, MATERIALS, ASSEMBLIES, EQUIPMENT, SIGNAGE AND FINISHES DAMAGED BY THE PROJECT DEMOLITION, TEMPORARY CONSTRUCTION, NEW CONSTRUCTION OR THE MOVEMENT OF PERSONNEL, TOOLS, EQUIPMENT, MATERIALS, ETC. BOTH INSIDE AND OUTSIDE OF THE DESIGNATED AREAS OF WORK.

25. PROVIDE THE CUTTING AND PATCHING FOR ALL DEMOLITION WORK AND ALL NEW CONSTRUCTION WORK BEING PERFORMED OUTSIDE OF THE PROJECT LIMIT LINES AS REQUIRED TO PROPERLY COMPLETE THE PROJECT SCOPE OF WORK.

26. ALL CUTTING, CORING AND DRILLING OF EXISTING CONCRETE AND MASONRY CONSTRUCTION SHALL NOT DAMAGE EXISTING REINFORCING STEEL, PIPING, CONDUITS OR OTHER CONCEALED CONSTRUCTION WITHIN. PRIOR TO CORING, DRILLING, CUTTING OR PERFORMING ANY BREAKING EFFORTS, PROVIDE PENETRATING FIELD X-RAYS OF THE INTENDED AREAS AND DOCUMENT THE EXACT SIZE AND LOCATIONS OF ALL SUCH INTERFERENCES. COORDINATE WITH AND OBTAIN VA/COR APPROVAL BEFORE PROCEEDING WITH ANY SUCH REQUIRED PENETRATIONS WORK.

27. THE GENERAL/PRIME CONTRACTOR IS RESPONSIBLE TO PROVIDE THE REMOVAL OF ALL CONSTRUCTION DEMOLITION DEBRIS, SPOIL AND MATERIALS FROM THE PROJECT SITE ON A DAILY BASIS UNLESS SPECIFICALLY REFERENCED OTHERWISE IN THE PROJECT SPECIFIC LOGISTICAL SEQUENCING REQUIREMENTS OR AS APPROVED BY THE VA/COR.

A

B

C

D

E

F

11/24/2021 12:11:48 PM

C:\Users\Kholian\Documents\8-133_Architectural_Central_L_kholian.rvt

BID DOCUMENTS SUBMITTAL	11/24/2021
100% CONSTRUCTION DOCUMENTS SUBMISSION	07/23/2021
95% CONSTRUCTION DOCUMENTS SUBMISSION	02/12/2021
60% DESIGN DEVELOPMENT SUBMISSION	09/11/2020
30% SCHEMATIC DESIGN SUBMISSION	05/24/2020
Revisions:	Date:

CONSULTANT

ARCHITECT/ENGINEER OF RECORD



700 Nicholas Blvd, Suite 300
 Elk Grove Village, IL 60007
 T: 847.952.9362 F: 847.952.9403
 www.bancroft-ae.com

STAMP

Office of Construction and Facilities Management
 VA U.S. Department of Veterans Affairs

Drawing Title
GENERAL - DEMOLITION NOTES

Approved: Project Director

Phase
BID DOCUMENTS SUBMITTAL

FULLY SPRINKLERED

VA CONTRACT NO: 36C24519C0171

Project Title	RENOVATE/UPGRADE NFS KITCHEN - BUILDING 500 BASEMENT	Project Number	613-19-103
Location	510 BUTLER AVENUE, MARTINSBURG, WV 25405	Building Number	500
Issue Date	11/24/21	Checked	II
Drawn	DMKA	Drawing Number	GI003

EGRESS REQUIREMENTS						
	NFPA 101 (2018)		PROVIDED			
	SECTION	REQUIREMENT	NFS KITCHEN	NFS OFFICE AREA	SWING SPACE	
OCCUPANT LOAD	TABLE 7.3.1.2	150 GSF (BUSINESS) 100 GSF (KITCHEN)	NFPA: 18,111 SF / 100 GSF = 182 OCC IBC: 16,111 SF / 200 GSF = 81 OCC	IBC: 2,417 SF / 150 GSF = 17 OCC	IBC: 5,095 SF / 150 GSF = 34 OCC	
EXIT ACCESS TRAVEL DISTANCE	18.2.6.2.1	200 FT. W/ SPRINKLER SYSTEM				
COMMON PATH OF EGRESS TRAVEL DISTANCE	18.2.5.3	100 FT.				
CORRIDOR SEPARATION	18.3.6.2.2	0 HR	NO CHANGE	NO CHANGE	NO CHANGE	
CORRIDOR WIDTH (MIN. REQUIRED)	18.2.3.4, 7.3.3.1, and 7.3.4.1	36 INCHES (MIN); 36 INCHES FOR < 50 OCC.; 44 INCHES FOR > 50 OCC.; OTHERWISE 0.2 INCH PER OCCUPANT (SPRINKLER)	NO CHANGE	NO CHANGE	NO CHANGE	
DEAD-END CORRIDORS	18.2.5.2	30 FT.	38 FT. (MAX.)	NONE	NONE	
MINIMUM CEILING HEIGHT	7.1.5.1.1	7'-6" NEW (7'-0" EXISTING)				

EMERGENCY EGRESS ILLUMINATION: AVERAGE OF 1.0 FOOT CANDLES AT EGRESS PATHS WITH A MIN. OF 0.1 CANDLE AT ANY POINT.

POWER SUPPLY: MEANS OF EGRESS ILLUMINATION NORMAL POWER IS TO BE PROVIDED BY PREMISES ELECTRICAL SYSTEM.

a. EGRESS ILLUMINATION: EITHER BATTERIES, SECOND PRIMARY SOURCE OR GENERATOR WITH A MIN. OF A 1 1/2 HOUR DURATION.

b. EXIT SIGNS: ILLUMINATED AT ALL TIME, EMERGENCY POWER REQ. WITH 1 1/2 HOUR DURATION.

***A.39.2.5.2. IT IS RECOGNIZED THAT DEAD ENDS EXCEEDING THE PERMITTED LIMITS EXIST AND, IN SOME CASES ARE IMPRACTICAL TO NFPA 101, ELIMINATE THE AUTHORITY HAVING JURISDICTION MIGHT PERMIT SUCH DEAD ENDS TO CONTINUE TO EXIST, TAKING INTO 2018 CONSIDERATION ANY OR ALL OF THE FOLLOWING:**

- TENANT ARRANGEMENT
- AUTOMATIC SPRINKLERS
- SMOKE DETECTION
- EXIT REMOTENESS*

EGRESS NOTES	
EMERGENCY EGRESS ILLUMINATION: AVERAGE OF 1.0 FOOT CANDLES AT EGRESS PATHS WITH A MIN. OF 0.1 CANDLE AT ANY POINT.	
POWER SUPPLY: MEANS OF EGRESS ILLUMINATION NORMAL POWER IS TO BE PROVIDED BY PREMISES ELECTRICAL SYSTEM.	
a. EGRESS ILLUMINATION: EITHER BATTERIES, SECOND PRIMARY SOURCE OR GENERATOR WITH A MIN. OF A 1 1/2 HOUR DURATION.	
b. EXIT SIGNS: ILLUMINATED AT ALL TIME, EMERGENCY POWER REQ. WITH 1 1/2 HOUR DURATION.	
*A.39.2.5.2. IT IS RECOGNIZED THAT DEAD ENDS EXCEEDING THE PERMITTED LIMITS EXIST AND, IN SOME CASES ARE IMPRACTICAL TO NFPA 101, ELIMINATE THE AUTHORITY HAVING JURISDICTION MIGHT PERMIT SUCH DEAD ENDS TO CONTINUE TO EXIST, TAKING INTO 2018 CONSIDERATION ANY OR ALL OF THE FOLLOWING:	
<ol style="list-style-type: none"> TENANT ARRANGEMENT AUTOMATIC SPRINKLERS SMOKE DETECTION EXIT REMOTENESS* 	

APPLICABLE CODES	
<ul style="list-style-type: none"> VA DIRECTIVES, DESIGN MANUALS, MASTER SPECIFICATIONS, VA NATIONAL CAD STANDARD APPLICATION GUIDE, AND OTHER GUIDANCE ON THE TECHNICAL INFORMATION LIBRARY (TIL) (HTTP://WWW.CFM.VA.GOV/TIL) NFPA 101 LIFE SAFETY CODE NFPA NATIONAL FIRE CODES WITH THE EXCEPTION OF NFPA 5000 AND NFPA 900 OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS. VA SEISMIC DESIGN REQUIREMENTS, H-18-8 NATIONAL ELECTRICAL CODE (NEC) INTERNATIONAL PLUMBING CODE (IPC) SAFETY CODE FOR ELEVATORS AND ESCALATORS, AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME) A 17.1 ASME BOILER AND PRESSURE VESSEL CODE ASME CODE FOR PRESSURE PIPING ARCHITECTURAL BARRIERS ACT ACCESSIBILITY STANDARDS (ABAS) INCLUDING VA SUPPLEMENT, BARRIER FREE DESIGN GUIDE (PG-18-13) BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, AMERICAN CONCRETE INSTITUTE AND COMMENTARY (ACI 318) MANUAL OF STEEL CONSTRUCTION, LOAD AND RESISTANCE FACTOR DESIGN SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS, AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) ENERGY POLICY ACT (EPACT) DOE INTERIM FINAL RULE: ENERGY CONSERVATION STANDARDS FOR NEW FEDERAL, COMMERCIAL AND MULTI-FAMILY HIGH-RISE RESIDENTIAL BUILDINGS AND NEW LOW-RISE RESIDENTIAL BUILDINGS, 10 CFR PARTS 433, 434 AND 435. FEDERAL LEADERSHIP IN HIGH PERFORMANCE AND SUSTAINABLE BUILDINGS: MEMORANDUM OF UNDERSTANDING (MOU) EXECUTIVE ORDER 13423: STRENGTHENING FEDERAL ENVIRONMENTAL ENERGY AND TRANSPORTATION MANAGEMENT THE PROVISIONS FOR CONSTRUCTION AND SAFETY SIGNS, STATED IN THE GENERAL REQUIREMENTS SECTION 01010 OF THE VA MASTER CONSTRUCTION SPECIFICATION. VENTILATION FOR ACCEPTABLE INDOOR AIR QUALITY - ASHRAE STANDARD 62.1 SAFETY STANDARD FOR REFRIGERATION SYSTEMS - ASHRAE STANDARD 15. 	

ARCHITECTURAL BARRIERS ACT (ABA) COMPLIANCE	
PER ICC/ANSI A117.1-2009 THE FOLLOWING SHALL FULLY COMPLY:	
A.	ACCESSIBLE MAIN ENTRY
B.	ACCESSIBLE ROUTE FROM ENTRY TO ELEVATOR LOBBY & ACCESSIBLE ELEVATOR TO ALL FLOORS
C.	ACCESSIBLE UNISEX TOILET ROOMS
D.	ACCESSIBLE HI-LO DRINKING FOUNTAINS
E.	ALL CONTROLS AND OPERABLE PARTS FULLY COMPLY AND ARE BETWEEN 15" AND 48"
F.	ALL SIGNAGE COMPLIES - IS OF BRILLE AND TACTILE AND IS LOCATED ON THE DOOR HANDLE SIDE OF DOOR, INSTALLED AT APPROPRIATE HEIGHT AND DISTANCE FROM DOOR FRAME.
G.	ALL STORAGE AREA FULLY COMPLY - CLOSET RODS, WALL MOUNTED CABINETS AND ANY TYPE OF SHELVING IS AT 48" ABOVE FINISH FLOOR TO TOP OF BOTTOM SHELF.

BUILDING 500 CODE REVIEW	
1.	CONSTRUCTION CLASSIFICATIONS: TYPE 1-B
2.	AUTOMATIC FIRE SUPPRESSION: ALL AREAS IN ACCORDANCE WITH NFPA 13
3.	OCCUPANCY CLASSIFICATIONS: (I-2) INSTITUTIONAL, NFPA 101 EXISTING HEALTHCARE OCCUPANCY
4.	AREA OF WORK: THE SCOPE OF THIS PROJECT IS TO RENOVATE AND UPGRADE APPROXIMATELY 16,000 SF OF INTERIOR SPACE FOR THE RENOVATION OF NUTRITION AND FOOD SERVICE KITCHEN ON THE BASEMENT FLOOR AND APPROXIMATELY 5,000 SF OF SWING SPACE LOCATED IN THE WAREHOUSE AREA ON THE BASEMENT FLOOR, INCLUDES PLUMBING, MECHANICAL, FIRE PROTECTION, AND SPRINKLER SYSTEM.
5.	BUILDING: EXISTING STAND-ALONE STEEL FRAME, CONCRETE AND MASONRY STRUCTURE WAS BUILT IN 1980. THE BUILDING IS THE MAIN HOSPITAL ON THE VA MEDICAL CAMPUS.

APPLICABLE CODES	
AUTHORITY HAVING JURISDICTION: VISA 4 SAFETY OFFICER	
ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES:	
1.	VA DIRECTORIES, DESIGN MANUALS, MASTER SPECIFICATIONS, VA NATIONAL CAD STANDARD APPLICATION GUIDE, AND OTHER GUIDANCE ON THE TECHNICAL INFORMATION LIBRARY (TIL) (HTTP://WWW.CFM.VA.GOV/TIL)
2.	INTERNATIONAL BUILDING CODE (IBC) 2018 (ONLY PERTAINING TO ITEMS NOT ADDRESSED BY NFPA 101)
3.	NFPA 101 LIFE SAFETY CODE 2018
4.	NFPA NATIONAL FIRE CODES WITH THE EXCEPTION OF NFPA 5000 AND NFPA 900
5.	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS
6.	VA SEISMIC DESIGN REQUIREMENTS, H-18-8
7.	NATIONAL ELECTRICAL CODE (NEC) 2014
8.	INTERNATIONAL PLUMBING CODE (IPC) 2015
9.	ASME BOILER AND PRESSURE VESSEL CODE 2015
10.	ASME CODE FOR PRESSURE PIPING
11.	ARCHITECTURAL BARRIERS ACT ACCESSIBILITY STANDARDS (ABAS) INCLUDING VA SUPPLEMENT.
12.	BARRIER FREE DESIGN GUIDE (PG-18-13)
13.	BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, AMERICAN CONCRETE INSTITUTE AND COMMENTARY (ACI 318)
14.	INTERNATIONAL MECHANICAL CODE

BUILDING DATA			
OCCUPANCY	INSTITUTIONAL: HOSPITAL		
APPLICABLE CODE	SECTION	SECTION	NFPA 101, 2018
CONSTRUCTION TYPE	TABLE (601)	NFPA 220, TABLE 4.1.1	TYPE I (332)
ALLOWABLE AREA/FLOOR (SQ.FT.)	TABLE (506.2)	N/A	N/A
AUTOMATIC SPRINKLER INCREASE ACTUAL AREA (BUILDING FOOTPRINT)			
GROSS AREA - BASEMENT	113,732 GSF	N/A	N/A
MAXIMUM ALLOWABLE HEIGHT	TABLE (504.3)	N/A	N/A
ACTUAL HEIGHT			

FIRE RESISTIVE RATINGS			
APPLICABLE CODES	NFPA 220 (2018)		PROVIDED/ACTUAL
	SECTION	REQUIREMENT	
PRIMARY STRUCTURAL FRAME	TABLE 4.1.1	N/A	EXISTING
BEARING WALLS			
EXTERIOR	TABLE 4.1.1	3 HR	EXISTING
INTERIOR	TABLE 4.1.1	2 HR	NO CHANGE
NONBEARING WALLS AND PARTITIONS			
EXTERIOR	TABLE 4.1.1	0 HR	EXISTING
INTERIOR	TABLE 4.1.1	0 HR	NO CHANGE
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	TABLE 4.1.1	2 HR	EXISTING
ROOF CONSTRUCTION CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	TABLE 4.1.1	1.5-HR	EXISTING
COLUMNS			
SUPPORTING MORE THAN ONE FLOOR	TABLE 4.1.1	3 HR	EXISTING
SUPPORTING ROOF ONLY	TABLE 4.1.1	2 HR	EXISTING
BEAMS, GIRDERS, TRUSSES, AND ARCHES			
SUPPORTING MORE THAN ONE FLOOR	TABLE 4.1.1	3 HR	EXISTING
SUPPORTING ROOF ONLY	TABLE 4.1.1	2 HR	EXISTING
EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE			
< 5 FEET		NO CHANGE	NO CHANGE
5 ≤ X < 10 FEET	NFPA 80A (2017), TABLE 4.3.7.3	NO CHANGE	NO CHANGE
10 ≤ X < 30 FEET		NO CHANGE	NO CHANGE
X ≥ 30 FEET		NO CHANGE	NO CHANGE

AREA SEPARATION PROTECTION			
APPLICABLE CODE (FOR INSTITUTIONAL OCCUPANCIES)	NFPA 101 (2018)		PROVIDED/ACTUAL
	SECTION	REQUIREMENT	
BOILER AND FUEL - FIRED EQUIPMENT (OVER 15 PSI AND 10 HP)			AUTOMATIC SPRINKLER
ELECTRICAL ROOM, WITH DRY TYPE TRANSFORMER > 12.5 KVA	NFPA 70 450.21(B)	1 HR	N/A
FURNACE ROOM EQUIPMENT OVER 400,000 BTU/HR INPUT	NFPA 70 450.21(B)	1 HR	AUTOMATIC SPRINKLER
STORAGE ROOMS > 100SF			1 HR AND AUTOMATIC SPRINKLER
SHAFT ENCLOSURES	8.6.5	VARIES	1 HR 2 HR

* NOTE - IF BUILDING PROTECTED THROUGHOUT BY APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 101, 9.7.1.1(1) OR IBC 903.3.1.

FIXTURE REQUIREMENTS (TABLE 2902.1)							
LEVEL	OCCUPANT LOAD	WATER CLOSET		LAVATORY		DRINKING FOUNTAINS	
		1 PER 25	1 PER 35	1 PER 35	1 PER 100	1 PER 100	SERVICE SINK
BASEMENT FLOOR	INSTITUTIONAL (I-2): 162 PERSONS	7	7	5	5	2	2

FIRE EXTINGUISHER REQUIREMENTS (TABLE 6.2.1.1)			
FIRE EXTINGUISHER REQUIREMENTS NFPA 10:	HAZARD TYPE: CLASS A, ORDINARY HAZARD. MAX FLOOR PER UNIT OF A: 1,500 SF MAX FLOOR PER EXTINGUISHER: 11,250 SF MAX TRAVEL TO EXTINGUISHER: 75'	SIZE AND RATING PROVIDED: 2A, 2.5 GAL MIN. NO. OF EXTINGUISHERS REQUIRED / PROVIDED: BASEMENT: 2 REQ / ___ PROVIDED	

CLASS K FIRE EXTINGUISHER REQUIREMENTS	
HAZARD TYPE: CLASS K, COMBUSTIBLE COOKING MEDIA MAX TRAVEL TO EXTINGUISHER FROM THE HAZARD: 30'	

BASIS OF DESIGN COMPLIANCE PROTOCOLS(SUMMARY)	
SEE DRAWING 61001 FOR THE FULL COMPLIANCE REQUIREMENTS	
THE BASIS OF DESIGN (BOD) PROTOCOLS APPLY TO ALL SPECIFIED EQUIPMENT, CONSTRUCTION MATERIALS INDICATED AND ALL ASSEMBLY DETAILS CONTAINED WITHIN THE DRAWINGS DOCUMENTS OR AS SPECIFICALLY REFERENCED BY SAME. EQUIPMENT AND MATERIAL PERFORMANCE CHARACTERISTICS ALONG WITH ALL DIMENSIONAL LOGISTICS FEATURES THAT AFFECT SIZE, PLACEMENT, REQUIRED CLEARANCES, SPACING, SERVICE ACCESS, DETAILING AND CONNECTION VARIANCES UTILITIES IMPACTS, HEIGHT FINISHING (IF REQUIRED), AVAILABILITY, ETC., WHICH NEED TO BE IDENTIFIED TO THE COR AND ALL AFFECTED SUBCONTRACTORS AND BE FULLY COORDINATED BY THE PRIME CONTRACTOR IF DIFFERENT FROM THE BID/CONSTRUCTION DOCUMENTS.	
BASIS OF DESIGN COMPLIANCE: 1. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND CERTIFY THAT THE CHARACTERISTICS OF THE EQUIPMENT OR MATERIAL HE/SHE WILL BE SUBMITTING FOR REVIEW MEETS OR EXCEEDS THE CAPACITY AND DUTY REQUIREMENTS AS SPECIFIED IN ANY OF THE BASIS OF DESIGN SPECIFICATIONS.	
2. IF THE EQUIPMENT OR MATERIAL BEING SUBMITTED FOR REVIEW WILL REQUIRE THAT MODIFICATIONS BE MADE, TO THE WORK OF THE PROVIDING CONTRACTOR, THE SUBMITTING CONTRACTOR SHALL BE FULLY RESPONSIBLE TO ADVISE/INFORM THE PRIME CONTRACTOR OF ANY AND ALL SUCH NECESSARY IMPACTS AND POSSIBLE DELAYS AND/OR COSTS AS A PART OF THEIR BID AND CONSTRUCTION SCOPE OF WORK RESPONSIBILITIES.	
3. THE SUBMITTING CONTRACTOR WILL BE FULLY RESPONSIBLE TO COORDINATE ALL DEVIATIONS FROM THE "BASIS OF DESIGN" INTENT WITH THE GENERAL CONTRACTOR AND ALL AFFECTED SUB-CONTRACTORS. THE FINAL INSTALLATION SHALL NOT COMPROMISE ANY OF THE "BASIS OF DESIGN" PERFORMANCE CHARACTERISTICS NOR SHALL IT ENCUMBER ANY OF THE DESIGN LAYOUT LOGISTICAL NECESSITIES.	
4. THE FINAL INSTALLATION SHALL ALSO COMPLY WITH ALL APPLICABLE BUILDING CODES, REGULATIONS, VA REQUIREMENTS PLUS ALLOW THE EQUIPMENT AND/OR MATERIALS TO FUNCTION PROPERLY AND SAFELY.	
5. ALL MATERIALS OR EQUIPMENT EQUIVALENT SUBSTITUTIONS SHALL BE PROVIDED ON A CONTRACTOR PREPARED ITEMIZED LISTING PER SUBSTITUTION WITH A FULL AND DETAILED DESCRIPTION OF ALL SPECIFICATIONS AND KNOWN DEVIATIONS FROM THE ORIGINAL BASIS OF DESIGN.	
6. THE PRIME/GENERAL CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE COR AT THE BEGINNING OF THE PROJECT, ALL SUCH KNOWN DEVIATIONS AND IMPACTS FROM THE SPECIFIC BASIS OF DESIGN SPECIFICATIONS BEFORE STARTING THE PROJECT AND/OR THE SHOP DRAWING SUBMITTAL.	
7. IF ANY UNKNOWN DEVIATIONS FROM THE BOD REQUIREMENTS SURFACE DURING THE CONSTRUCTION PHASE, NOTIFY THE COR IMMEDIATELY AND IDENTIFY ALL IMPACTS FOR THE COR'S EVALUATION AND POSSIBLE AUTHORIZATION.	

PROJECT GENERAL NOTES	
(APPLIES TO ALL CONTRACTORS)	
1. ALL WORK SHALL BE COMPLETED ACCORDING TO ALL PUBLISHED APPLICABLE LOCAL STATE / FEDERAL/ NATIONAL CODES AND ORDINANCES ALONG WITH ALL VA DIRECTIVES, DESIGN MANUALS, SPECIFICATIONS, STANDARDS AND REQUIREMENTS	
2. EACH CONTRACTOR SHALL HAVE PUBLIC LIABILITY, PROPERTY DAMAGE AND WORKSMAN'S COMPENSATION INSURANCE. CONSULT VA FOR ALL COVERAGE REQUIREMENTS.	
3. EACH CONTRACTOR SHALL COORDINATE WITH ALL OTHER CONTRACTORS AND CHECK, PRIOR TO COMMENCEMENT OF WORK, FOR SPACE REQUIREMENTS WITH ALL OTHER TRADES, TO AVOID CONFLICTS.	
4. RELOCATION OF DUCTS, PIPING, CONDUIT, ELECTRICAL BOXES WHICH MAY ALTER THE ARCHITECTURAL OR STRUCTURAL CONSTRUCTION MUST BE APPROVED BY THE COR, PRIOR TO RELOCATION	
5. MECHANICAL CONTRACT DRAWINGS SHALL BE TAKEN IN A SENSE AS DIAGRAMMATIC, SIZE & MEANS OF RUNNING PIPING ARE SHOWN BUT IS NOT INTENDED TO SHOW EVERY FITTING AND OFFSET, NOR EVERY STRUCTURAL DIFFICULTY THAT CAN BE ENCOUNTERED DURING THE INSTALLATION OF WORK.	
6. SPECIFICATIONS AND SITE: BEFORE SUBMITTING A BID, THE BIDDERS SHALL CAREFULLY EXAMINE THE DRAWINGS AND SPECIFICATIONS SO AS TO BE THOROUGHLY FAMILIAR WITH ALL THE REQUIREMENTS. THE BIDDERS SHALL VISIT THE SITE OF THE WORK TO BECOME ACQUAINTED WITH ALL THE CONDITIONS AFFECTING THE CONTRACT, OBSTACLES WHICH MAY BE ENCOUNTERED AND ALL OTHER CONDITIONS RELATIVE TO THE WORK TO BE PERFORMED; AND, IF AWARDED THE CONTRACT, SHALL NOT BE ALLOWED ANY EXTRA COMPENSATION BY REASON OF ANY UNFORESEEN DIFFICULTIES OR OBSTACLES WHICH THE BIDDER COULD HAVE REASONABLY ANTICIPATED PRIOR TO BIDDING. SHOULD ANY DISCREPANCIES, ERRORS, CONFLICT OR ITEMS NEEDING CLARIFICATION BE DISCOVERED IN THE PLANS AND/OR SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY THE VACO PRIOR TO SUBMITTING A BID AND THE VACO BEFORE STARTING WORK.	
7. EACH CONTRACTOR SHALL MAINTAIN A COMPETENT FOREMAN OR DIRECT REPRESENTATIVE ON THE JOB AT ALL TIMES. THE CONTRACTOR SHALL COOPERATE WITH THE SUPERINTENDENT AND FOREMAN OF THE TRADES IN ORDER THAT THERE MAY NOT BE DELAY IN THE ERECTION AND COMPLETION OF THE WORK.	

SPECIAL SAFETY NOTICE	
1. ALL CONTRACTORS, SUBCONTRACTORS AND THEIR REPRESENTATIVES WORKING ON THIS PROJECT SHALL AT ALL TIMES PRIOR AND DURING THE COURSE OF THEIR ACTIVITY BE RESPONSIBLE FOR THE SAFETY OF THEIR EMPLOYEES AS WELL AS ALL OTHERS AND IN THE CARE OF THE PROPERTY.	
2. EACH CONTRACTOR OR SUBCONTRACTOR, AS REPRESENTATIVES OF THEIR EMPLOYEES, SHALL ASCERTAIN THAT THE CONDITIONS UNDER WHICH THEY WILL BE REQUIRED TO ACCOMPLISH THEIR WORK ARE SAFE AND MEET ALL REGULATIONS OF THE OCCUPATIONAL SAFETY AND HAZARD ACT OR OTHER GOVERNING REGULATIONS AND ALL VA REQUIREMENTS. THE BEGINNING OF WORK BY A CONTRACTOR OR SUBCONTRACTOR SHALL INDICATE SATISFACTION CONCERNING SAFETY AND FULL RESPONSIBILITY FOR ACCIDENTS, INJURIES, AND/OR DAMAGES.	
3. IF UNSATISFIED, THE CONTRACTOR OR SUBCONTRACTOR SHALL INDICATE THE ACTIONS AND/OR DEVICES NECESSARY TO RENDER THE JOB-SITE SAFE. IF THE WORK OF OTHER PARTIES IS, UPON INSPECTION, FOUND AT ANY TIME TO BE UNSAFE THE CONTRACTOR OR SUBCONTRACTOR SHALL IMMEDIATELY STOP ALL WORK AND NOTIFY THE GENERAL CONTRACTOR AND THE COR. THE BID SUBMISSIONS AND BEGINNING OF WORK SHALL INDICATE ACKNOWLEDGEMENTS AND ACCEPTANCE OF THESE REQUIREMENTS.	

CONSULTANT	
BID DOCUMENTS SUBMITTAL	11/24/2021
100% CONSTRUCTION DOCUMENTS SUBMISSION	07/23/2021
95% CONSTRUCTION DOCUMENTS SUBMISSION	02/12/2021
60% DESIGN DEVELOPMENT SUBMISSION	09/11/2020
30% SCHEMATIC DESIGN SUBMISSION	05/24/2020
Revisions:	Date:

ARCHITECT/ENGINEER OF RECORD	
 BANERCROFT ARCHITECTS + ENGINEERS 700 Nicholas Blvd, Suite 300 Elk Grove Village, IL 60007 T: 847.952.9362 F: 847.952.9403 www.banercroft-ae.com	

STAMP	
Office of Construction and Facilities Management Approved: Project Director VA U.S. Department of Veterans Affairs	

Drawing Title	
GENERAL - CODE AND BUILDING INFORMATION	

Phase	
BID DOCUMENTS SUBMITTAL	

Project Title	
RENOVATE/UPGRADE NFS KITCHEN - BUILDING 500 BASEMENT	

Location	
510 BUTLER AVENUE, MARTINSBURG, WV 25405	

Project Number	
613-19-103	

Building Number	
500	

Drawing Number	
GI101	



RATED PARTITION

	NEW 1 HOUR FIRE & SMOKE SEPARATION
	EXISTING 1 HOUR FIRE & SMOKE SEPARATION
	NEW 2 HOUR FIRE & SMOKE SEPARATION
	EXISTING 2 HOUR FIRE & SMOKE SEPARATION

SYMBOL LIST

	PATH OF EGRESS
	1 HOUR FIRE / SMOKE SEPARATION
	AREA OF NO WORK - EXCEPT WHERE OTHERWISE NOTED IN MEP AND FP DRAWINGS.
	FIRE EXTINGUISHER CABINET
	FIRE ALARM PULL STATION
	EXIT SIGN

NOTE: ALL BASEMENT EXIT SIGNS, FIRE ALARM PULLS, AND FIRE EXTINGUISHER CABINETS ARE EXISTING. NO CHANGE.

INTERIM LIFE SAFETY MEASURES - ILSM

- CONTRACTOR SHALL REVIEW THE FOLLOWING SECTIONS WITHIN THE PROJECT MANUAL FOR A FULL WRITTEN DESCRIPTION OF INTERIM LIFE SAFETY MEASURES. SECTION 01 10 10, 1 HOUR CONSTRUCTION SMOKE BARRIER HOUR, SECTION 01 35 26, CH 1.13 - FSS, FIRE SAFETY SECTION, SECTION 01 35 26, CH 1.12-1C, INFECTION CONTROL AND SECTION 01 01 10, SN, SPECIAL NOTES.
- CONTRACTOR SHALL FURNISH AND INSTALL TEMPORARY SMOKE DETECTORS AS PER VA REQUIREMENTS. CONNECT INTO EXISTING FIRE ALARM SYSTEM IN RESPECTIVE BUILDING AREA/ZONE. CONTRACTOR SHALL CONSULT WITH VA FIRE ALARM CONTROL COMPANY AND PERFORM CERTIFICATION TESTING THAT TEMPORARY DEVICES ARE IN OPERATION. SUBMIT WRITTEN CERTIFICATION TESTING REPORT TO THE VA COR. AT PROJECT COMPLETION PHASE CONTRACTOR SHALL REMOVE TEMPORARY SMOKE DETECTORS AND RESPECTIVE FIRE ALARM WIRING AND CONDUITS.
- ONCE TEMPORARY CONSTRUCTION SMOKE BARRIERS AND SMOKE DETECTORS ARE IN PLACE THEN THE VA WILL DRAIN THE FIRE PROTECTION SPRINKLER ZONE FOR PROJECT AREA/SPACE. CONTRACTOR SHALL ASSIST THE VA WITH THIS OPERATION AND SCOPE OF WORK.
 - SMOKE DETECTORS SHALL BE COVERED DURING WORKING HOURS, AND UNCOVERED DURING NON-WORKING HOURS.
- CONTRACTOR SHALL THEN REMOVE FIRE PROTECTION BRANCH PIPING FROM THE MAIN SPRINKLER LINE. PROVIDE CAPS/PLUGS AT RESPECTIVE BRANCH POINTS OFF THE MAINS. AFTER CAPS/PLUGS HAVE BEEN INSTALLED THEN THE VA WILL REFILL FIRE PROTECTION SYSTEM WITH WATER. CONTRACTOR SHALL INSPECT ALL CAP/PLUG LOCATIONS TO ASSURE A WATERTIGHT CONDITION AND MAKE ANY CORRECTIONS AS NECESSARY. REFER TO FIRE PROTECTION DRAWING FP-100 FOR EXTENT OF WORK.
- AT PROJECT COMPLETION PHASE OF WORK THE VA WILL DRAIN THE FIRE PROTECTION SPRINKLER SYSTEM FOR THE INSTALLATION OF THE RESPECTIVE BRANCH PIPING. ONCE BRANCH PIPING CONNECTIONS HAVE BEEN MADE THEN THE FIRE PROTECTION SYSTEM WILL BE REFILLED WITH WATER.
- RENOVATED AREA IS NEW OCCUPANCY BUSINESS AND SHOULD BE FULLY SPRINKLERED WITH QUICK RESPONSE SPRINKLERS (QRS).

ARCHITECTURAL BARRIER ACT (ABA)

- PER ICC/ANSI A117.1-2009 THE FOLLOWING COMPLY FULLY:
- ACCESSIBLE MAIN ENTRY
 - ACCESSIBLE ROUTE FROM ENTRY TO ELEVATOR LOBBY & ACCESSIBLE ELEVATOR TO ALL FLOORS
 - ACCESSIBLE MEN'S AND WOMEN'S TOILET ROOMS
 - ACCESSIBLE H2O DRINKING FOUNTAINS LOCATED IN BUILDING
 - ALL CONTROLS AND OPERABLE PARTS FULLY COMPLY AND ARE BETWEEN 15" AND 48"
 - ALL SIGNAGE COMPLIES - IS OF BRILLE AND TACTILE AND IS LOCATED ON THE DOOR HANDLE SIDE OF DOOR, INSTALLED AT APPROPRIATE HEIGHT AND DISTANCE FROM DOOR FRAME.



1 GENERAL - LIFE SAFETY PLAN BASEMENT FLOOR
 1/16" = 1'-0"
 0 4 8 12

BID DOCUMENTS SUBMITTAL	11/24/2021
100% CONSTRUCTION DOCUMENTS SUBMISSION	07/23/2021
95% CONSTRUCTION DOCUMENTS SUBMISSION	02/12/2021
60% DESIGN DEVELOPMENT SUBMISSION	09/11/2020
30% SCHEMATIC DESIGN SUBMISSION	05/24/2020
Revisions:	Date:

CONSULTANT

ARCHITECT/ENGINEER OF RECORD

700 Nicholas Blvd, Suite 300
 Elk Grove Village, IL 60007
 T: 847.952.9362 F: 847.952.9403
 www.bancroft-ae.com

STAMP

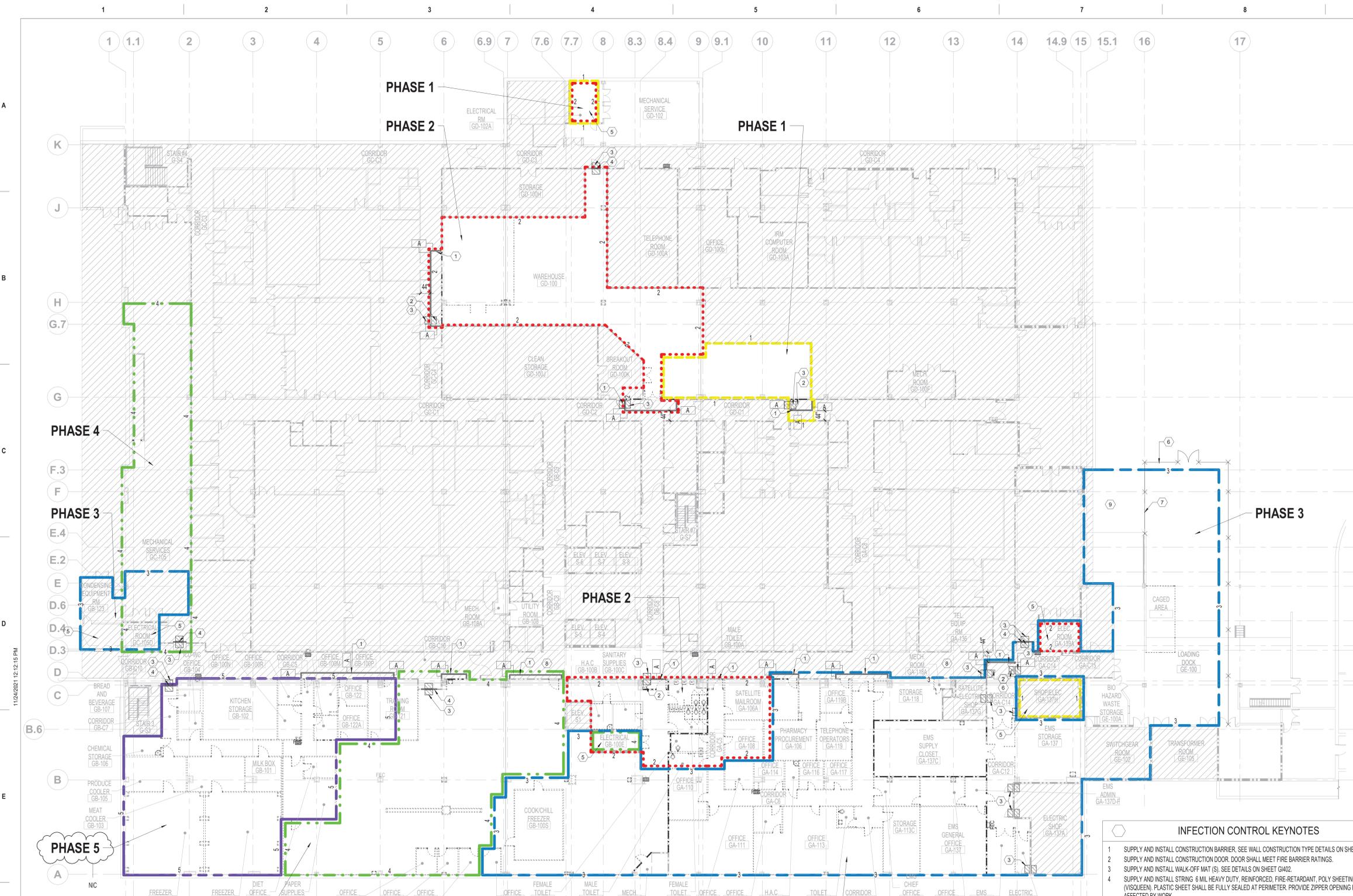
Office of Construction and Facilities Management
VA U.S. Department of Veterans Affairs

Drawing Title: GENERAL - LIFE SAFETY PLAN- BASEMENT FLOOR
 Approved: Project Director

Phase: BID DOCUMENTS SUBMITTAL
 FULLY SPRINKLERED

VA CONTRACT NO: 36C24519C0171

Project Title: RENOVATE/UPGRADE NFS KITCHEN - BUILDING 500 BASEMENT	Project Number: 613-19-103
Location: 510 BUTLER AVENUE, MARTINSBURG, WV 25405	Building Number: 500
Issue Date: 11/24/21	Drawing Number: GJ301
Checked: II	Drawn: DMKA



PHASING GENERAL NOTES

	AREA OF NO WORK - EXCEPT WHERE OTHERWISE NOTED IN MEP AND FP DRAWINGS.		PHASE 1
	EXISTING CONSTRUCTION TO REMAIN		PHASE 2
	EXISTING CONSTRUCTION TO BE REMOVED		PHASE 3
	MATERIAL DELIVERY/DEBRIS REMOVAL ROUTE FROM CONSTRUCTION AREA TO SERVICE ELEVATORS		PHASE 4
	EGRESS PATH ROUTE FROM CONSTRUCTION AREA TO EXIT DISCHARGE		PHASE 5
	CONSTRUCTION BARRIER		
	WALK-OFF MAT		
	VISQUEEN		
	EXISTING 1 HOUR FIRE & SMOKE SEPARATION		
	EXISTING 2 HOUR FIRE & SMOKE SEPARATION		
	ROOM TAG		
	ROOM NAME		
	ROOM NUMBER		

PHASING GENERAL NOTES

BEFORE CONSTRUCTION PROJECTS BEGIN:
 COMPLETE ALL CRITICAL BARRIERS TO SEAL CONSTRUCTION AREA FROM NON WORK AREA (SEE TEMPORARY CONSTRUCTION BARRIER DETAIL ON G404) OR IMPLEMENT CONTROL CUBE METHOD (CART W/ PLASTIC COVERING AND SEALED CONNECTION TO WORK SITE WITH HEPA VACUUM FOR VACUUMING PRIOR TO EXIT).

SEQUENCE WORK SO THAT SPRINKLER OUTAGES (INCLUDING INOPERABILITY DUE TO MISSING CEILING SYSTEMS) ARE LIMITED TO 8 HOURS OR LESS PER DAY.

DURING CONSTRUCTION PROJECTS:

- THE CONTRACTOR SHALL NOT BLOCK OR HINDER THE USE OF THE BUILDINGS BY PATIENTS, STAFF & VISITORS.
- ALL MATERIALS AND EQUIPMENT MUST BE PROPERLY STORED IN VA DESIGNATED AREAS.
- ALL NEW CONSTRUCTION MATERIALS, TOOLS AND EQUIPMENT PASSING THROUGH NON-CONSTRUCTION AREAS TO BE COVERED WITH 4 MIL POLY SHEETS.
- ALL DEBRIS AND GARBAGE THAT IS TO BE REMOVED THROUGH THE NON-CONSTRUCTION AREAS MUST BE CONTAINED IN TIGHTLY COVERED NONCOMBUSTIBLE CONTAINERS. CONTRACTOR TO SUPPLY SPILL KIT, TO INCLUDE HEPA VAC, MULTI PURPOSE SPILL CONTROL SORBENTS TO ABSORB NON AGGRESSIVE LIQUIDS UP TO 30 GALLONS.
- ALL CONSTRUCTION ENTRANCE POINTS SHALL CONTAIN THE FOLLOWING (SEE CONSTRUCTION ENTRANCE POINT DETAIL ON G402):
 - TEMPORARY CONSTRUCTION DOOR. ALL TEMPORARY CONSTRUCTION DOORS TO BE METAL (PAINTED PER VA STANDARDS), 1 HR RATED, W/ METAL FRAMES, CLOSERS AND SEALS.
 - PROPER LABELS COMPLYING WITH VA AND OSHA REQUIREMENTS.
 - BEST KEYPAD EZ LOCK.
 - 24" X 36" MINIMUM TACKY WALK-OFF MATS. CHANGE THEM AS NEEDED.
 - HAND SANITIZER.
- ON PROJECTS WHERE HVAC WORK IS APPLICABLE CONTRACTOR TO COMPLETE THE FOLLOWING:
 - DISCONNECT HVAC CONNECTIONS TO EXISTING SYSTEM DURING CONSTRUCTION.
 - SUPPLY A NEGATIVE PRESSURE MACHINE OF SUFFICIENT SIZE & QUANTITY TO ADEQUATELY HANDLE CONSTRUCTION AREAS. NEGATIVE PRESSURE GAUGES, MANOMETERS, MUST RECORD CONTINUOUSLY 24 HRS/DAY. MAKE READINGS AVAILABLE TO COR AND VA SAFETY EACH DAY.
 - MONITOR ALL AREAS OF NEGATIVE AIR PRESSURE, USING MAGNEHELIC GAUGE PER CAVHS GUIDELINES.
 - VERIFY AND TEST NEGATIVE AIR FLOW.
 - MAINTAIN A NEGATIVE AIR PRESSURE LOG.

UPON COMPLETION OF CONSTRUCTION PROJECTS:

- DO NOT REMOVE BARRIERS FROM WORK AREA UNTIL COMPLETED PROJECT IS INSPECTED BY VA'S SAFETY AND INFECTION CONTROL DEPARTMENTS, THOROUGHLY CLEANED BY THE VA'S ENVIRONMENTAL SERVICES DEPARTMENT AND APPROVED BY VA COR.
- REMOVE BARRIER MATERIALS CAREFULLY TO MINIMIZE SPREADING OF DIRT AND DEBRIS ASSOCIATED WITH CONSTRUCTION.
- VACUUM WORK AREA WITH HEPA FILTERED VACUUMS.
- WET MOP AREA WITH DISINFECTANT.

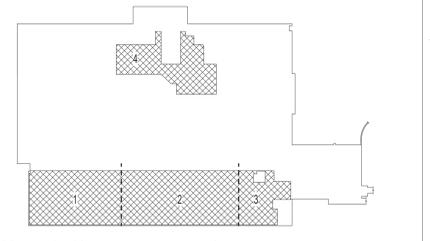
PHASING GENERAL NOTES

REVIEW THIS DRAWING IN CONJUNCTION WITH SHEET G403 AND CORRESPONDING ARCHITECTURAL, FIRE PROTECTION, PLUMBING, MECHANICAL, ELECTRICAL AND FOODSERVICE DEMOLITION AND NEW WORK DRAWINGS FOR A FULL SCOPE OF PROJECT CONSTRUCTION PHASING. THIS INFORMATION IS SUGGESTED. CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR ALL PHASE CONSTRUCTION PLANNING, SEQUENCING, MEANS, METHODS, PROCEDURES, COORDINATION AND PERFORMANCE OF THE WORK.

REFER TO APPENDIX C OF THE SPECIFICATIONS FOR MECHANICAL PHASING PLAN AND NOTES.

INFECTION CONTROL KEYNOTES

- SUPPLY AND INSTALL CONSTRUCTION BARRIER. SEE WALL CONSTRUCTION TYPE DETAILS ON SHEET G402
- SUPPLY AND INSTALL CONSTRUCTION DOOR. DOOR SHALL MEET FIRE BARRIER RATINGS.
- SUPPLY AND INSTALL WALK-OFF MAT (S). SEE DETAILS ON SHEET G402.
- SUPPLY AND INSTALL STRING 6 MIL HEAVY DUTY, REINFORCED, FIRE-RETARDANT, POLY SHEETING (VISQUEEN). PLASTIC SHEET SHALL BE FULLY SEALED AT PERIMETER. PROVIDE ZIPPER OPENING FOR AREAS AFFECTED BY WORK.
- SEE SHEET E201 FOR FURTHER ELECTRICAL INFORMATION.
- DOOR/GATE TO BE KEPT LOCKED. CONTRACTOR TO ENSURE THE CORE IS KEYPAD TO THE VA CONSTRUCTION KEY. COORDINATE WITH THE VA.
- CONTRACTOR TO PROVIDE A TEMPORARY AND MOVABLE CONSTRUCTION FENCE FOR SECURING THE AREA WHEN CONTRACTOR IS NOT IN THE AREA AND PROTECT STAFF AND PATIENTS. COORDINATE WITH THE VA.
- WHEN PERFORMING DEMOLITION AND NEW WORK IN EXISTING ROOMS AND CORRIDORS, PROTECT ALL FURNITURE AND EQUIPMENT WITH STRING REINFORCED 6 MIL PLASTIC SHEET COVERING. WHEN PERFORMING WORK ABOVE EXISTING CEILING, CAREFULLY REMOVE EXISTING ACOUSTICAL CEILING TILES AND GRID AS REQUIRED FOR NEW WORK. PROTECT ALL CEILING MOUNTED ITEMS SUCH AS LIGHT FIXTURES, IT DEVICES, FIRE ALARM DEVICES, SPRINKLER HEADS, ETC. AT THE END OF THE SHIFT INSTALL THE ACOUSTICAL CEILING TILES AND GRID BACK TO ITS ORIGINAL STATE. UPON COMPLETION OF WORK ABOVE CEILING, ALL DAMAGED CEILING TILES AND GRID TO BE REPLACED WITH NEW TO MATCH EXISTING. AREAS OF WORK TO BE COMPLETELY SWEEPED AND CLEANED PRIOR TO LEAVING THE SITE FOR THE DAY. WORK IN EXISTING ROOMS AND CORRIDORS SHALL BE OFF-SHIFT AND WILL REQUIRE AN INFECTION CONTROL PLAN TO BE SUBMITTED FOR COR APPROVAL.
- ACCESS TO RAMP TO REMAIN CLEAR OF ANY CONSTRUCTION ITEMS OR DEBRIS

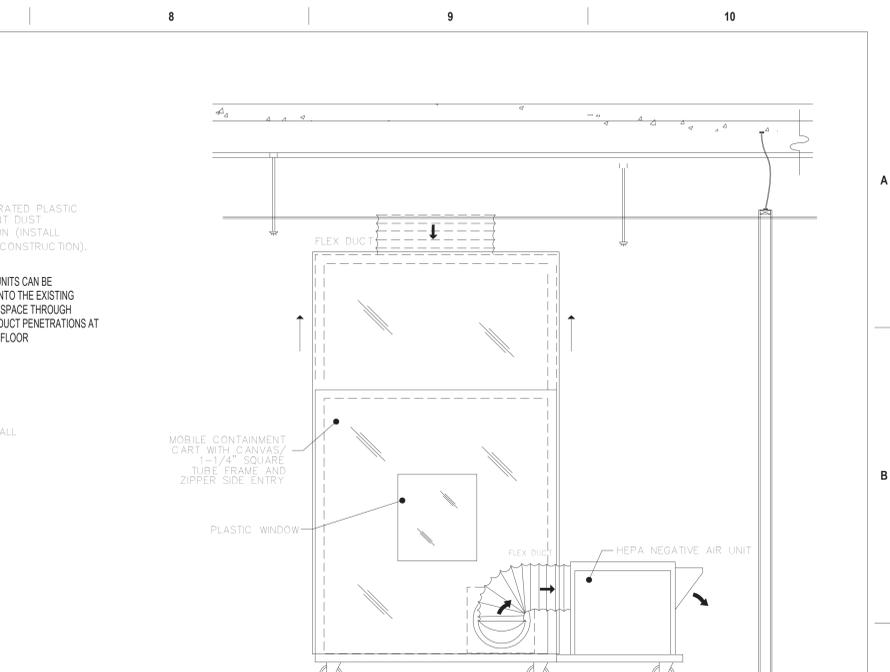
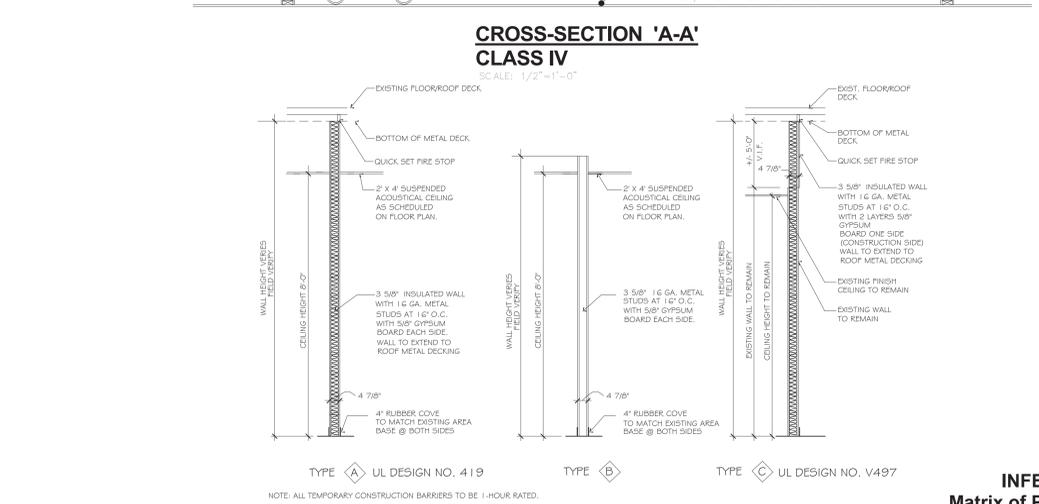
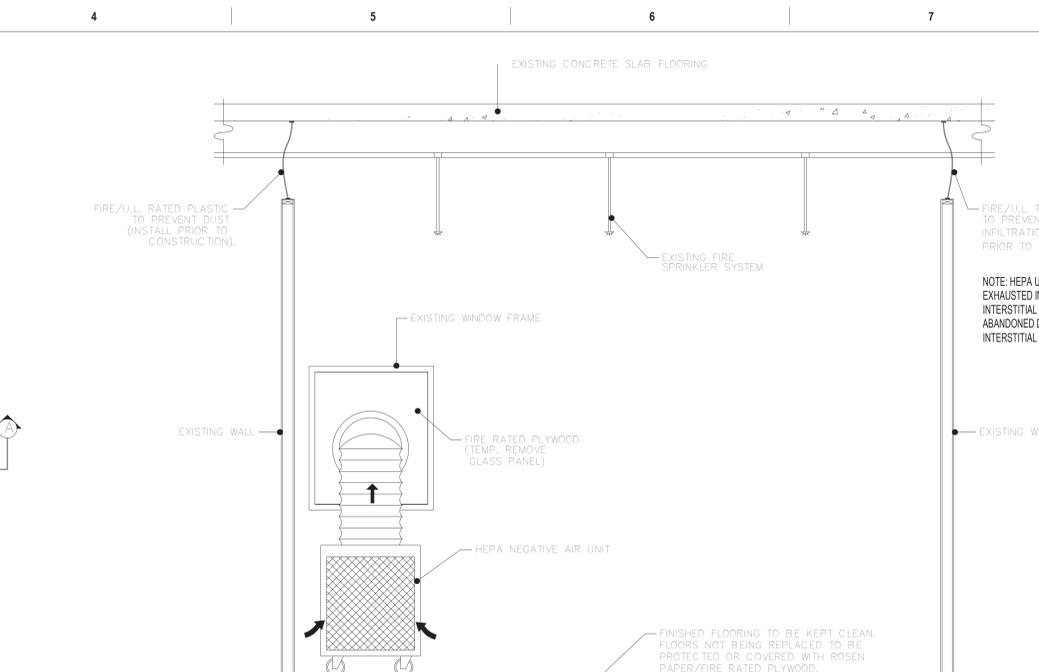
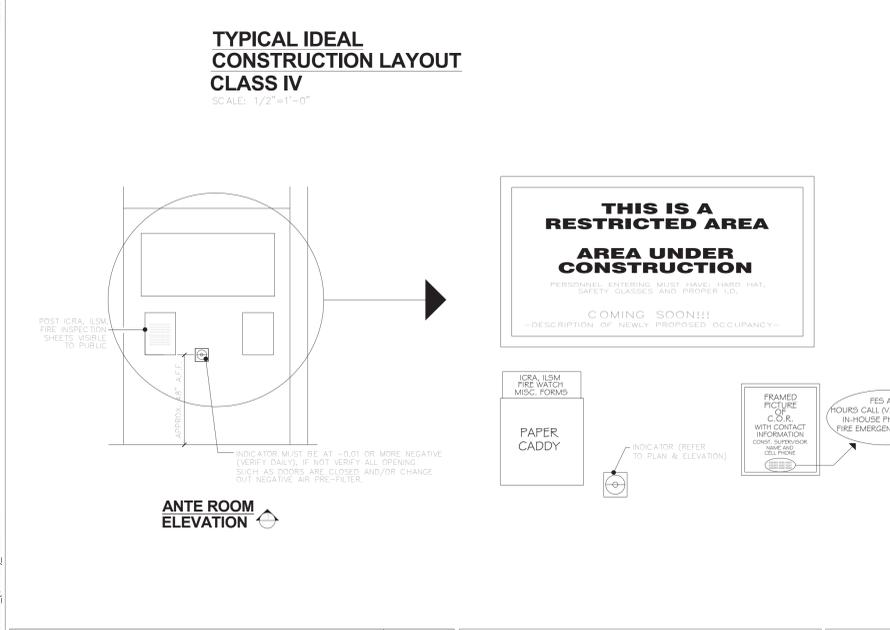
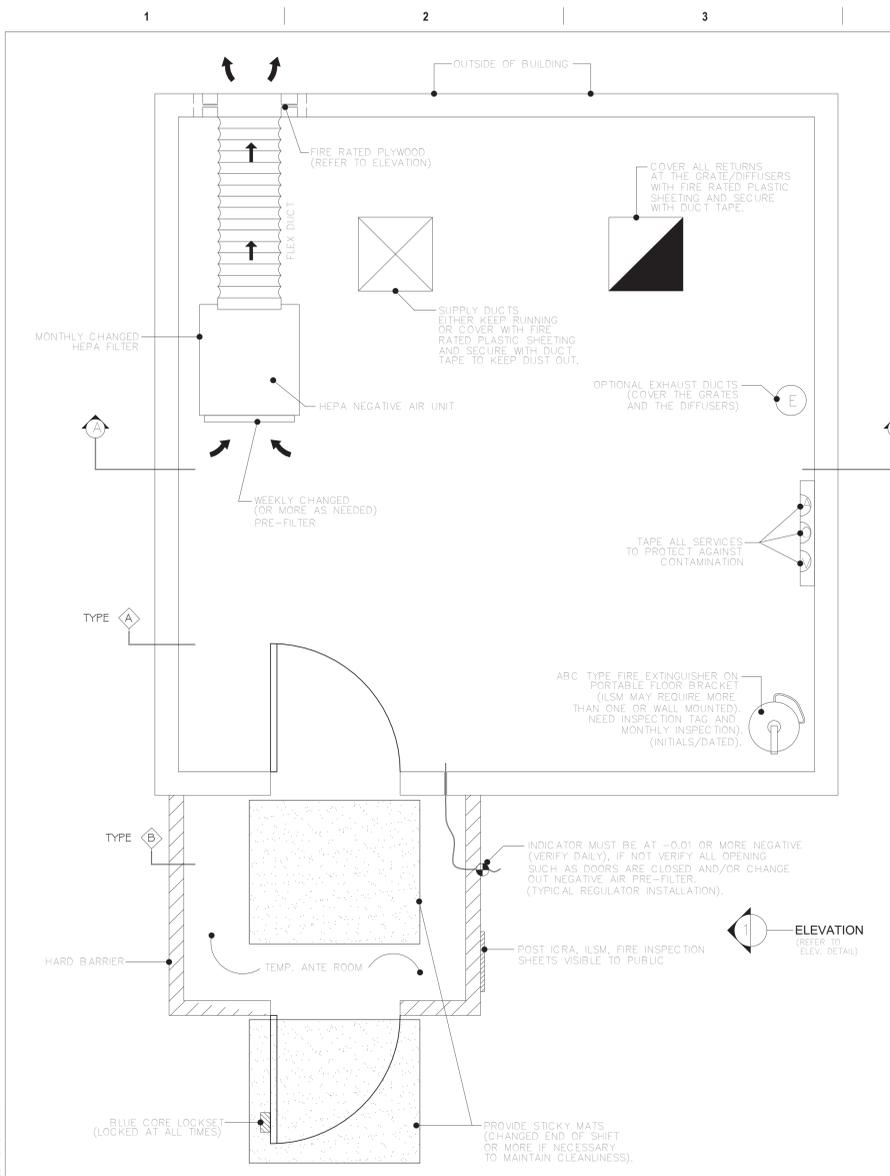


BASEMENT KEY PLAN
 NOT TO SCALE

PHASING AND ICRA PLAN BASEMENT FLOOR
 1/16" = 1'-0"

PHASE 1	- PHARMACY BUILT
PHASE 2	- PHARMACY MOVES INTO NEW SPACE - REMAINING WAREHOUSE BUILT - DISHWASHING BUILT
PHASE 3	- REMAINING SWING SPACES MOVE INTO WAREHOUSE - TRANSITION TO NEW DISHWASHING - NEW KITCHEN BUILT
PHASE 4	- TRANSITION TO NEW KITCHEN - OFFICE SUITE BUILT - PARTIAL FUTURE SPACE BUILT
PHASE 5	- TRANSITION TO NEW OFFICE SUITE - REMAINING FUTURE SPACE BUILT

BID DOCUMENTS SUBMITTAL 100% CONSTRUCTION DOCUMENTS SUBMISSION 07/23/2021 95% CONSTRUCTION DOCUMENTS SUBMISSION 02/12/2021 60% DESIGN DEVELOPMENT SUBMISSION 09/11/2020 30% SCHEMATIC DESIGN SUBMISSION 05/24/2020 Revisions: Date:		CONSULTANT 		ARCHITECT/ENGINEER OF RECORD 700 Nicholas Blvd, Suite 300 Elk Grove Village, IL 60007 T: 847.952.9362 F: 847.952.9403 www.bancroft-ae.com		STAMP 		Office of Construction and Facilities Management Approved: Project Director		Phase BID DOCUMENTS SUBMITTAL		Project Title RENOVATE/UPGRADE NFS KITCHEN - BUILDING 500 BASEMENT		Project Number 613-19-103	
								FULLY SPRINKLERED		Location 510 BUTLER AVENUE, MARTINSBURG, WV 25405		Drawing Number GI401			



INFECTION CONTROL RISK ASSESSMENT
Matrix of Precautions for Construction and Renovation

STEP ONE: Identify the Type of construction Project Activity

TYPE A	TYPE B	TYPE C	TYPE D
Inspection and Non-Invasive Activities. Includes, but is not limited to: • removal of ceiling tiles for visual inspection only, e.g., limited to 1 tile per 50 square feet • painting (but not sanding) • wallcovering, electrical trim work, minor plumbing, and activities which do not generate dust or require cutting of walls or access to ceilings other than for visual inspection.	Small scale, short duration activities which create minimal dust Includes, but is not limited to: • installation of telephone and computer cabling • access to chase spaces • cutting of walls or ceiling where dust migration can be controlled.	Work that generates a moderate to high level of dust or requires demolition or removal of any fixed building components or assemblies Includes, but is not limited to: • sanding of walls for painting or wall covering • removal of floorcoverings, ceiling tiles and casework • new wall construction • minor duct work or electrical work above ceilings • major cabling activities • any activity which cannot be completed within a single workshift.	Major demolition and construction projects Includes, but is not limited to: • activities which require consecutive work shifts • requires heavy demolition or removal of a complete cabling system • new construction.

STEP TWO: Identify the Patient Risk Groups

Low Risk	Medium Risk	High Risk	Highest Risk
• Office areas	• Cardiology • Echocardiography • Endoscopy • Nuclear Medicine • Physical Therapy • Radiology/MRI • Respiratory Therapy	• CCU • Emergency Room • Labor & Delivery • Laboratories (specimen) • Medical Units • Newborn Nursery • Outpatient Surgery • Pediatrics • Pharmacy • Post Anesthesia Care Unit • Surgical Units	• Any area caring for immunocompromised patients • Burn Unit • Cancer Care Unit • Central Sterile Supply • Intensive Care Units • Negative pressure isolation rooms • Oncology • Operating rooms including C-section rooms

STEP THREE: Match the Patient Risk Group with the Construction Project Type to find the Class of Precautions

Patient Risk Group	IC Matrix - Class of Precautions: Construction Project by Patient Risk			
	Construction Project Type			
	TYPE A	TYPE B	TYPE C	TYPE D
LOW Risk Group	I	II	III	III/IV
MEDIUM Risk Group	I	II	III	IV
HIGH Risk Group	I	II	III/IV	IV
HIGHEST Risk Group	II	III/IV	III/IV	IV

Note: Infection Control approval will be required when the Construction Activity and Risk Level indicate that Class III or Class IV control procedures are necessary.

BID DOCUMENTS SUBMITTAL	11/24/2021
100% CONSTRUCTION DOCUMENTS SUBMISSION	07/23/2021
95% CONSTRUCTION DOCUMENTS SUBMISSION	02/12/2021
60% DESIGN DEVELOPMENT SUBMISSION	09/11/2020
30% SCHEMATIC DESIGN SUBMISSION	05/24/2020
Revisions:	Date:

CONSULTANT

ARCHITECT/ENGINEER OF RECORD

Bancroft

BANCROFT ARCHITECTS + ENGINEERS
700 Nicholas Blvd, Suite 300
Eik Grove Village, IL 60007
T: 847.952.9362 F: 847.952.9403
www.bancroft-ae.com

STAMP

Office of Construction and Facilities Management
VA U.S. Department of Veterans Affairs

Drawing Title
GENERAL - TYPICAL ICRA DRAWING CLASS IV

Approved: Project Director

Phase
BID DOCUMENTS SUBMITTAL

FULLY SPRINKLERED

Project Title
RENOVATE/UPGRADE NFS KITCHEN - BUILDING 500 BASEMENT

Location
510 BUTLER AVENUE, MARTINSBURG, WV 25405

Issue Date
11/24/21

Checked
II

Drawn
DMKA

Project Number
613-19-103

Building Number
500

Drawing Number
GI402

11/24/2021 12:12:17 PM
C:\Users\Khalid\Documents\8-133_Architectural_Central_Khalid.rvt
VA FORM 08-6231

DISCIPLINE:	ARCHITECTURAL	FIRE PROTECTION	MECHANICAL	PLUMBING	ELECTRICAL	NOTES
PHASE 1	Demo work: Demolish existing elements in warehouse area in current phase. New work: Build Pharmacy space Pharmacy staff in existing swing space moves into new warehouse swing space upon completion of work.	Demo work: Demolish existing sprinkler heads and some piping that will interfere with new ceiling mounted mechanical equipment. Piping to be reconnected quickly after demolition to ensure adequate fire protection for associated areas downstream during construction. New work: Install new sprinkler heads and some new piping. Piping to be routed to avoid interferences with new ceiling mounted mechanical equipment.	Existing air handling unit HV-2 will be demolished and replaced with new air handling unit AHU-2. All ceiling diffusers and interstitial ductwork work required to provide service to the pharmacy will be completed before pharmacy employees can relocate to their new space. Existing warehouse ventilation will be connected to AHU-2 supply to provide outside air.	Demo work: None New work: None		
PHASE 2	Demo work: Demolish remaining existing elements in area of current phase. New work: Build remaining new warehouse swing space and new dishwashing. Remaining staff in existing swing space moves into new warehouse swing space and existing dishwashing operations transitions to new dishwashing space upon completion of work.	Demo work: Area 2: Demolish existing sprinkler heads and all piping that will interfere with new raised ceiling. Piping to be reconnected quickly after demolition to ensure adequate fire protection for associated areas downstream during construction. Area 4: Demolish existing sprinkler heads and all piping that will interfere with new ceiling mounted mechanical equipment. Piping to be reconnected quickly after demolition to ensure adequate fire protection for associated areas downstream during construction. New work: Area 2: Install new sprinkler heads and all new piping. Area 4: Install new sprinkler heads and some new piping. Piping to be routed to avoid interferences with new ceiling mounted mechanical equipment.	Remaining swing space area will have ceiling diffusers and fan coil units installed to provide ventilation and comfort control. HV-1 must be rebalanced to provide preconstruction airflow to NS areas served by the unit. Preconstruction airflow should be measured with a TAB report prior to commencing work and verified to match with a TAB at conclusion of work. New dishwash area will have all required ceiling diffusers installed according to new final design intent. New diffusers to be connected to nearby existing supply and return ductwork associated with air handling unit AC-1. This will provide temporary ventilation to the space until later phase. New exhaust ductwork from dishwashing equipment will be run in interstitial to existing vertical ductwork riser. Existing exhaust fans EF-50 and EF-51 on roof will be replaced with new according to design. New exhaust ductwork shall be insulated. New pressure reducing valve PRV-500K will be installed in mechanical room GC-105 to serve all new kitchen equipment including dishwasher, cart washer, and steam kettles. Steam supply piping will be routed via interstitial space into the new kitchen equipment. New steam condensate return piping will be routed underfloor to tie into existing condensate pump P-5 in kitchen steam room. All work in phase 2 that will cause downtime for dishwasher operation should be coordinated between trades and with the VA/COR.	Demo work: Area 2: Demolish plumbing fixtures and associated piping serving Male Toilets GB-100A and GA-109 and Female Toilets GB-100D and GA-109. Demolish sanitary piping to main and cap and seal. Area 4: No work. New work: Area 2: Install floor receptacles in Dishwashing G101. Tie new sanitary piping temporarily into the existing sanitary mains that the toilets previously tied into. Route new domestic water and vent piping to serve new Dishwashing G101. Area 4: Install floor through, hose reel and sink to serve the new EMS Equipment Storage Room GD-137 and all associated piping.		
PHASE 3	Demo work: Existing remaining swing space offices to be demolished. Existing kitchen prep, cooking, assembly, food storage and offices to remain fully operational during demolition. New work: Build new kitchen cooking, prep, assembly, food storage and deliveries/receiving. Move kitchen prep, assembly operations and food storage to new space upon completion of work.	Demo work: Demolish existing sprinkler heads and all piping that will interfere with new raised ceiling. New work: Install new sprinkler heads and all new piping.	Condensing units to be installed along with acoustical enclosure and associated exhaust system on the loading dock location. Condensing units must be installed after routing of new kitchen sanitary and grease interceptor has been installed. Refrigerant piping will be installed between loading dock condensing units and evaporators located in the walk-in coolers/freezers. Refrigerant piping work should be coordinated with other trades. All ductwork, diffusers, and terminal boxes located in ceiling and interstitial above the phase 3 area of work will be demolished. NS areas served by AC-4 shall have a TAB report conducted to determine pre-construction airflow. Demolished ductwork originating from air handling unit AC-4 should be capped and sealed at location indicated on drawing. AC-4 will be adjusted and balanced to maintain pre-construction airflow to NS areas. All ductwork originating from air handling unit AC-1 will be demolished back to location indicated on drawings and temporarily capped and sealed. New diffusers, ductwork, and terminal units serving new kitchen area will be installed according to final construction design. Existing make-up air unit in mechanical room GC-105 will be demolished along with all associated ductwork and replaced with new MAU-1. New ductwork will be routed via interstitial to new kitchen hood location. Installation of make-up air ductwork should be coordinated to conform with intended design.	Demo work: Demolish all plumbing fixtures and associated piping back to main. Demolish existing sanitary as shown dashed on drawing. The remaining underground sanitary to be abandoned in place. New work: Install new grease interceptor (G1-1), sewage ejector pump (SEP-1 and SEP-2) basin/equipment and valve vault along with kitchen sanitary, pumped sanitary and vent piping in the loading dock area. Route pumped sanitary up into the interstitial space where it will tie into the existing 6" sanitary. Install new floor receptacles to serve new kitchen area into the new kitchen sanitary main. Install new domestic water and vent piping to serve the new kitchen area. Remove temporary kitchen sanitary piping serving new Dishwashing G101 from the existing main and tie into the new kitchen sanitary.		
PHASE 4	Demo work: Demolish existing kitchen including cooking, prep and assembly areas. New work: Build new office suite and portion of future space. Move kitchen staff into new offices.	Demo work: Demolish existing sprinkler heads and all piping that will interfere with new raised ceiling. New work: Install new sprinkler heads and all new piping.	Contractor will extend temporary ductwork to serve remaining offices in phase 5 area of work that require ventilation. All remaining ductwork associated with AC-1 will be demolished and removed except what is necessary to continue supplying phase 5 spaces still in use. All equipment in mechanical room GC-105 that is affected by this project will be replaced or modified in this phase. New air handling unit AHU-1, exhaust fan EF-1, pumps P-15 and P-16, pressure reducing valve PRV-121/8, etc will be installed. All ductwork and ceiling diffusers within phase 4 area of work will be installed. Ductwork will be routed from AHU-1 to tie into previously installed new ductwork in interstitial.	Demo work: Demolish all plumbing fixtures and associated piping back to main. Existing underground sanitary piping to be abandoned in place. New work: Install new sink in Kitchenette Lounge G125 and route associated piping. Tie new herb vault into cold water and drain piping from kitchenette sink.		
PHASE 5	Demo work: Demolish existing kitchen food storage areas and staff offices. New work: Build remaining area of future space.	Demo work: Demolish existing sprinkler heads and all piping that will interfere with new raised ceiling. New work: Install new sprinkler heads and all new piping.	Remaining mechanical items within phase 5 area of work will be removed. Suspended unit heaters will be installed in vanity box future space to temper cold air infiltration from perimeter walls.	Demo work: Demolish all plumbing fixtures and associated piping back to main. Existing underground sanitary piping to be abandoned in place. New work: None		
PHASE 6	Demo and new work in this area consists of mechanical and kitchen remains to be placed in corresponding phase					There are breaker replacements and breaker settings in other areas that will be performed outside of kitchen phasing.

DISCIPLINE:	ARCHITECTURAL	FIRE PROTECTION	MECHANICAL	PLUMBING	ELECTRICAL	NOTES
PHASE 3			Type 1 grease exhaust ductwork will be routed from new kitchen exhaust hoods to existing vertical riser in interstitial. EF-52 on roof will be upgraded with a VFD and placed on emergency power. All exposed ductwork on the roof between EF-52 inlet and the roof penetration shall be removed and replaced with new stainless steel welded. Contractor will follow all required codes and standards associated with Type 1 grease systems. Kitchen grease exhaust ductwork shall be insulated. New steam supply will be installed to serve remaining kitchen equipment. Steam condensate piping will be installed under floor routing all new kitchen condensate to existing condensate pump P-5 in kitchen steam room. Temporary air handling unit and all associated equipment, ductwork, piping and controls will be installed. Temporary ductwork will be routed according to drawings to location of entrance to the interstitial. Contractor will route temporary ductwork via interstitial to tie-in locations in new ductwork as identified on drawings. Contractor is responsible for coordinating all temporary work with new and between trades to ensure system operates as designed. At completion of phase 3, kitchen will be fully operational and temporary unit will provide HVAC to the space. Kitchen staff will populate their new kitchen.			
BUILD NEW KITCHEN						
PHASE 4						
BUILD OFFICE SUITE						
PHASE 5						
BUILD FUTURE SPACE						

PHASING PLAN GENERAL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR SEQUENCING AND COORDINATION OF CONSTRUCTION PHASING WITH THE VA'S SCHEDULE, INFECTION CONTROL, AND INTERIM LIFE SAFETY REQUIREMENTS. REFER TO SPECIFICATIONS FOR PROJECT GENERAL CONDITION, INFECTION CONTROL, SPECIAL NOTES, PROJECT SCHEDULE, ETC. FOR ALL PROJECT REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE ALL SUB-PHASING ACTIVITIES AS REQUIRED FOR WORK OCCURRING BETWEEN VARIOUS PHASES.
- THE PHASING PLAN IS NOT TO BE TAKEN AS AN INCLUSIVE LIST OF ALL ITEMS TO BE COMPLETED WITHIN A SPECIFIC OUTLINED PHASE. PLEASE REFER TO ALL DISCIPLINES AND CONTRACT DOCUMENTS FOR ALL WORK ASSOCIATED IN THESE AREAS.
- THE PHASING PLAN IS SUBJECT TO THE CONTRACTORS MEANS AND METHODS, SCHEDULING AND TO EXISTING CONDITIONS AND TIME RESTRAINTS.
- CONTRACTOR SHALL REFER TO ALL DEMOLITION AND CONSTRUCTION DRAWINGS FOR A COMPLETE UNDERSTANDING OF THE SPECIFIED SCOPE OF WORK
- CONTRACTOR SHALL MAINTAIN EGRESS PASSAGEWAYS MAIN CORRIDOR AND STAIR EXITS DURING COMPLETE CONSTRUCTION BARRIERS AND ENTRANCES.
- CONTRACTOR SHALL REFER TO DRAWINGS G301 FOR INFECTION CONTROL NOTES AND SUGGESTED LOCATION OF CONSTRUCTION BARRIERS AND ENTRANCES.
- CONTRACTOR SHALL NOTE ALL EXISTING PLUMBING, MECHANICAL AND ELECTRICAL SERVICES AND SYSTEMS THAT ARE SCHEDULED TO REMAIN FULLY OPERATIONAL AND FUNCTIONAL FOR DURATION OF SPECIFIC PHASES.
- CONTRACTOR SHALL NOTE THAT BUILDING 500 SHALL BE OCCUPIED DURING CONSTRUCTION.
- HOURS OF OPERATION FOR NOISE AND VIBRATION OPERATIONS ARE DURING OFF NORMAL HOSPITAL OPERATION HOURS (6:00 PM TO 6:00AM). SERVICE INTERRUPTIONS DURING OFF NORMAL WORK HOURS AND SCHEDULED MINIMUM (2) WEEKS ADVANCED NOTICE.
- WHERE TWO OR MORE SEQUENCES MEET IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE TRANSITION WORK BETWEEN SEQUENCES.
- CONTRACTOR TO HAVE ALL MATERIALS AND EQUIPMENT ON SITE FOR THE COMPLETION OF ANY WORK THAT IS DESIGNATED FOR OFF HOURS PRIOR TO THE START OF OFF HOURS WORK.
- PHASES TO BE PERFORMED IN SEQUENCE.

11/24/2021 12:12:18 PM C:\Users\Khalid\Documents\8-133_Architectural_Central_Khalid.rvt

BID DOCUMENTS SUBMITTAL	11/24/2021
100% CONSTRUCTION DOCUMENTS SUBMISSION	07/23/2021
95% CONSTRUCTION DOCUMENTS SUBMISSION	02/12/2021
60% DESIGN DEVELOPMENT SUBMISSION	09/11/2020
30% SCHEMATIC DESIGN SUBMISSION	05/24/2020
Revisions:	Date:

CONSULTANT

ARCHITECT/ENGINEER OF RECORD



700 Nicholas Blvd, Suite 300
Eik Grove Village, IL 60007
T: 847.952.9362 F: 847.952.9403
www.banerji-ae.com

STAMP

Office of Construction and Facilities Management
VA U.S. Department of Veterans Affairs

Drawing Title
GENERAL - PHASING/SEQUENCE OF WORK CHART

Approved: Project Director

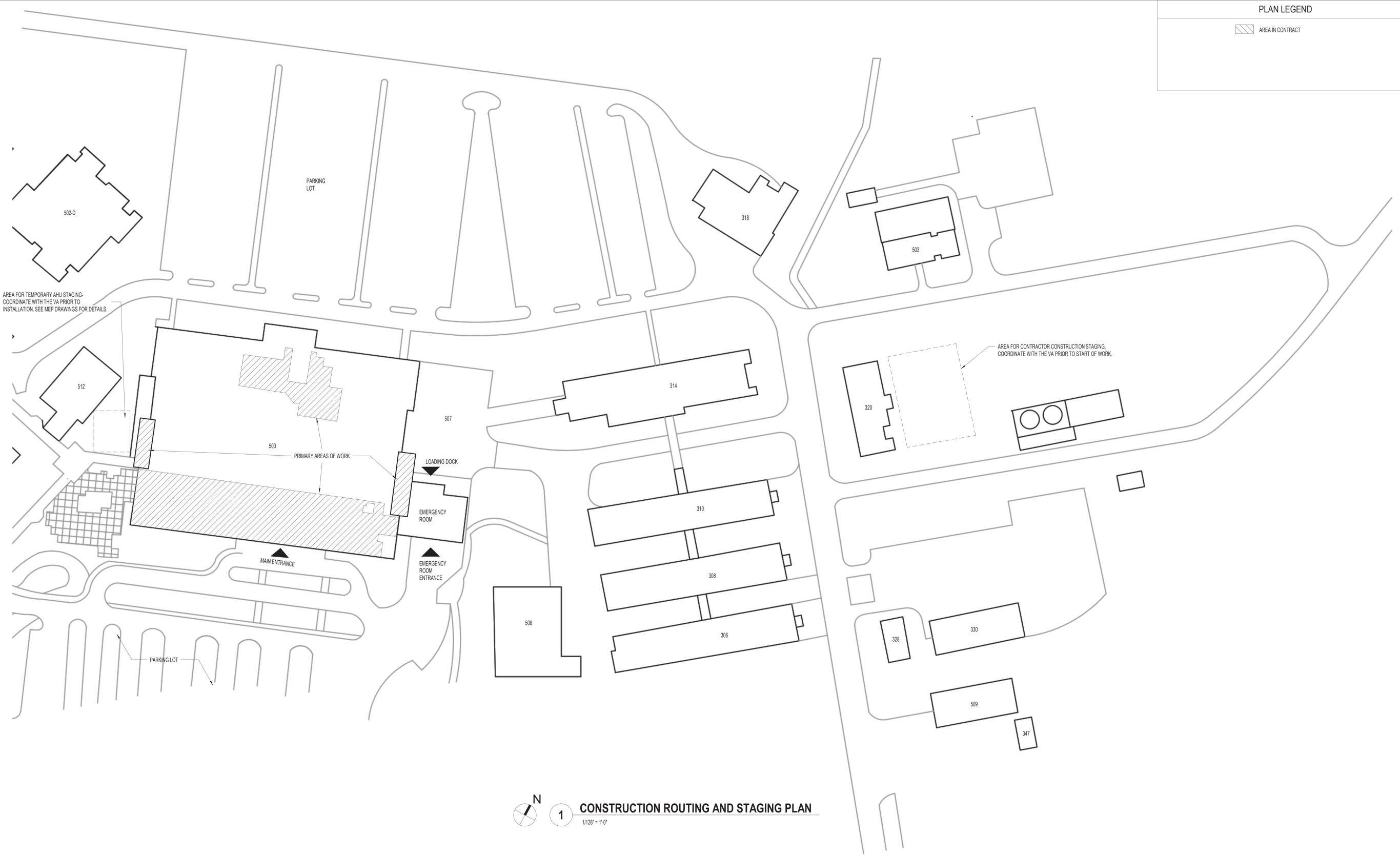
Phase
BID DOCUMENTS SUBMITTAL

FULLY SPRINKLERED

VA CONTRACT NO: 36C24519C0171

Project Title RENOVATE/UPGRADE NFS KITCHEN - BUILDING 500 BASEMENT	Project Number 613-19-103
Location 510 BUTLER AVENUE, MARTINSBURG, WV 25405	Building Number 500
Issue Date 11/24/21	Checked II
Drawn DM	Drawing Number GI403

PLAN LEGEND	
	AREA IN CONTRACT



1 CONSTRUCTION ROUTING AND STAGING PLAN
 1/128" = 1'-0"

C:\Users\Kkolan\Documents\6133_Architectural_Central_Kkolan.rvt 11/24/2021 12:11:34 PM

BID DOCUMENTS SUBMITTAL	11/24/2021
100% CONSTRUCTION DOCUMENTS SUBMISSION	07/23/2021
95% CONSTRUCTION DOCUMENTS SUBMISSION	02/12/2021
60% DESIGN DEVELOPMENT SUBMISSION	09/11/2020
30% SCHEMATIC DESIGN SUBMISSION	05/24/2020
Revisions:	Date:

CONSULTANT

ARCHITECT/ENGINEER OF RECORD



700 Nicholas Blvd, Suite 300
 Elk Grove Village, IL 60007
 T: 847.952.9362 F: 847.952.9403
 www.bancroft-ae.com

STAMP

Office of Construction and Facilities Management
 VA U.S. Department of Veterans Affairs

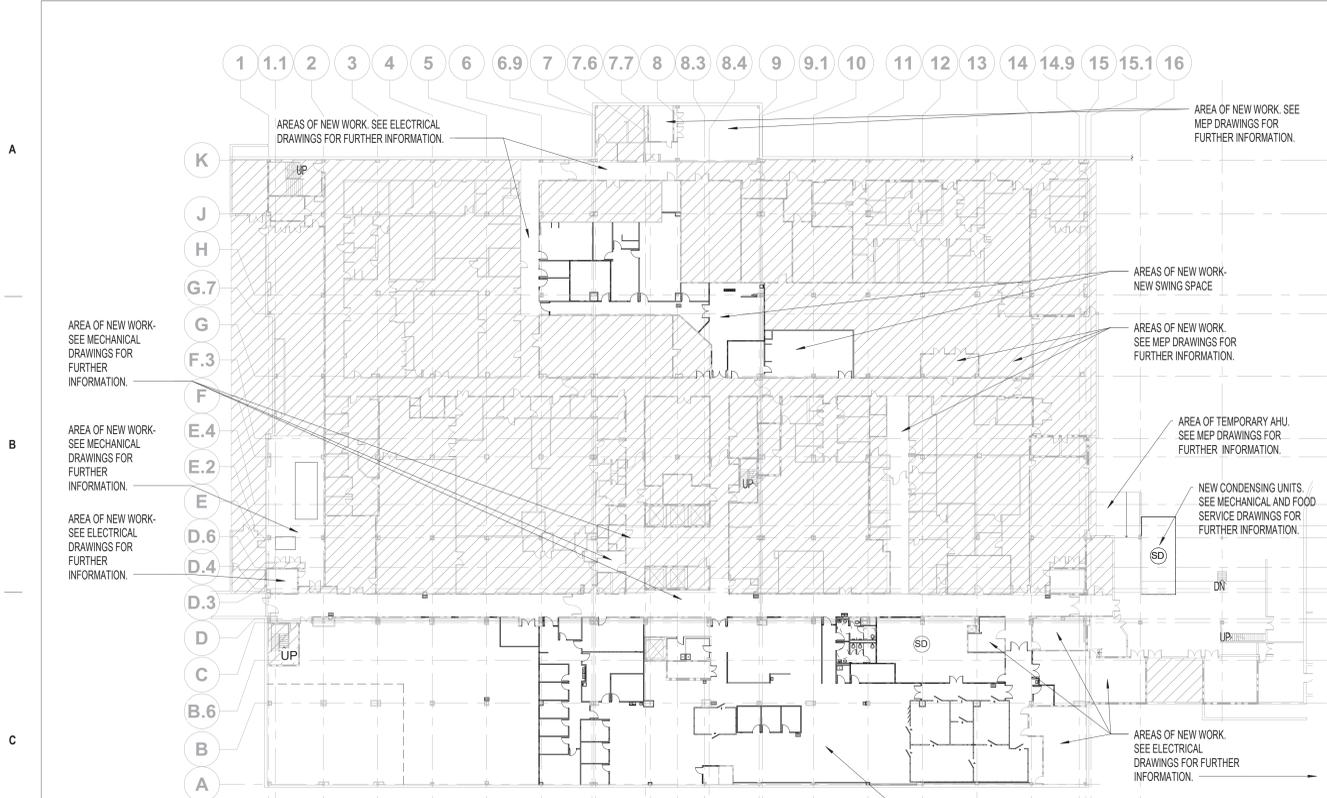
Drawing Title
GENERAL - CONSTRUCTION ROUTING AND STAGING PLANS

Approved: Project Director

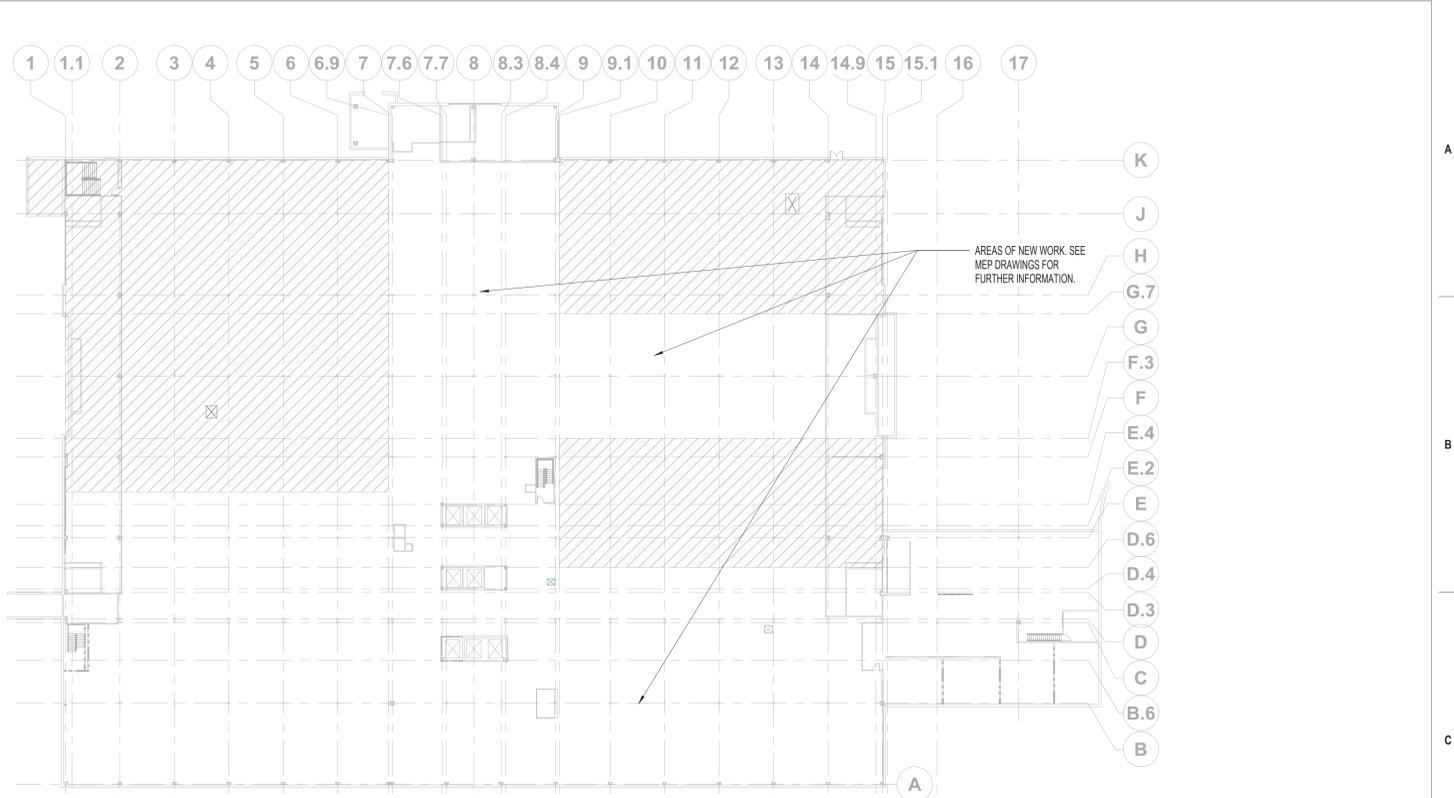
Phase
BID DOCUMENTS SUBMITTAL

FULLY SPRINKLERED

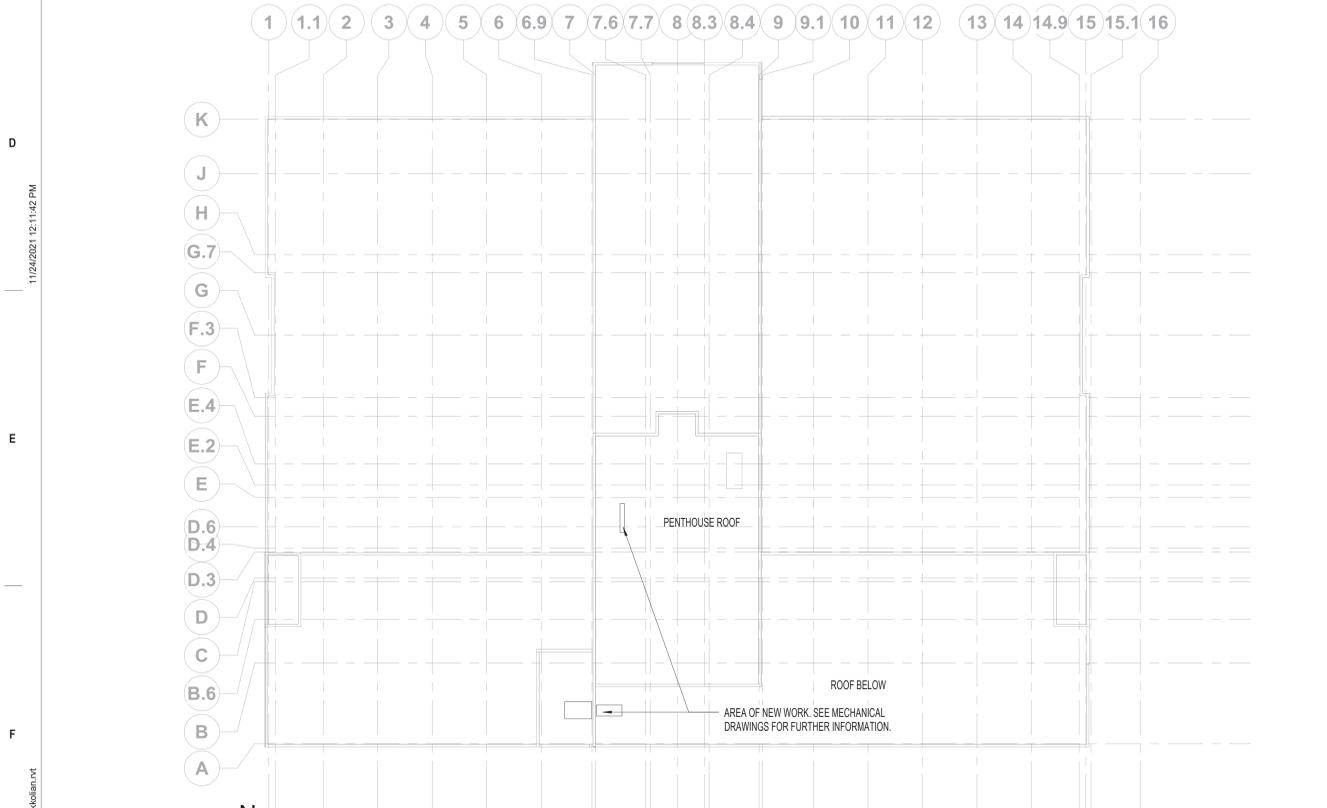
VA CONTRACT NO: 36C24519C0171		
Project Title	Project Number	Building Number
RENOVATE/UPGRADE NFS KITCHEN - BUILDING 500 BASEMENT	613-19-103	500
Location	Issue Date	Checked
510 BUTLER AVENUE, MARTINSBURG, WV 25405	11/24/21	II
Drawn	DMIKA	Drawing Number
		GC101



1 BASEMENT FLOOR
1/32" = 1'-0"



2 INTERSTITIAL BASEMENT FLOOR
1/32" = 1'-0"



3 ROOF PLAN
1/32" = 1'-0"

C:\Users\Khalid\Documents\B-133_Architectural_Central_L\khalid\11/24/2021 12:11:42 PM

100% CONSTRUCTION DOCUMENTS SUBMISSION	07/23/2021
95% CONSTRUCTION DOCUMENTS SUBMISSION	02/12/2021
60% DESIGN DEVELOPMENT SUBMISSION	09/11/2020
30% SCHEMATIC DESIGN SUBMISSION	05/24/2020
Revisions:	Date:

CONSULTANT

ARCHITECT/ENGINEER OF RECORD

BANCROFT ARCHITECTS + ENGINEERS
700 Nicholas Blvd. Suite 300
Eik Grove Village, IL 60007
T: 847.952.9362 F: 847.952.9403
www.bancroft-ae.com

STAMP

Office of
Construction
and Facilities
Management

Drawing Title
BUILDING ORIENTATION PLANS

Approved: Project Director

Phase
BID DOCUMENTS SUBMITTAL

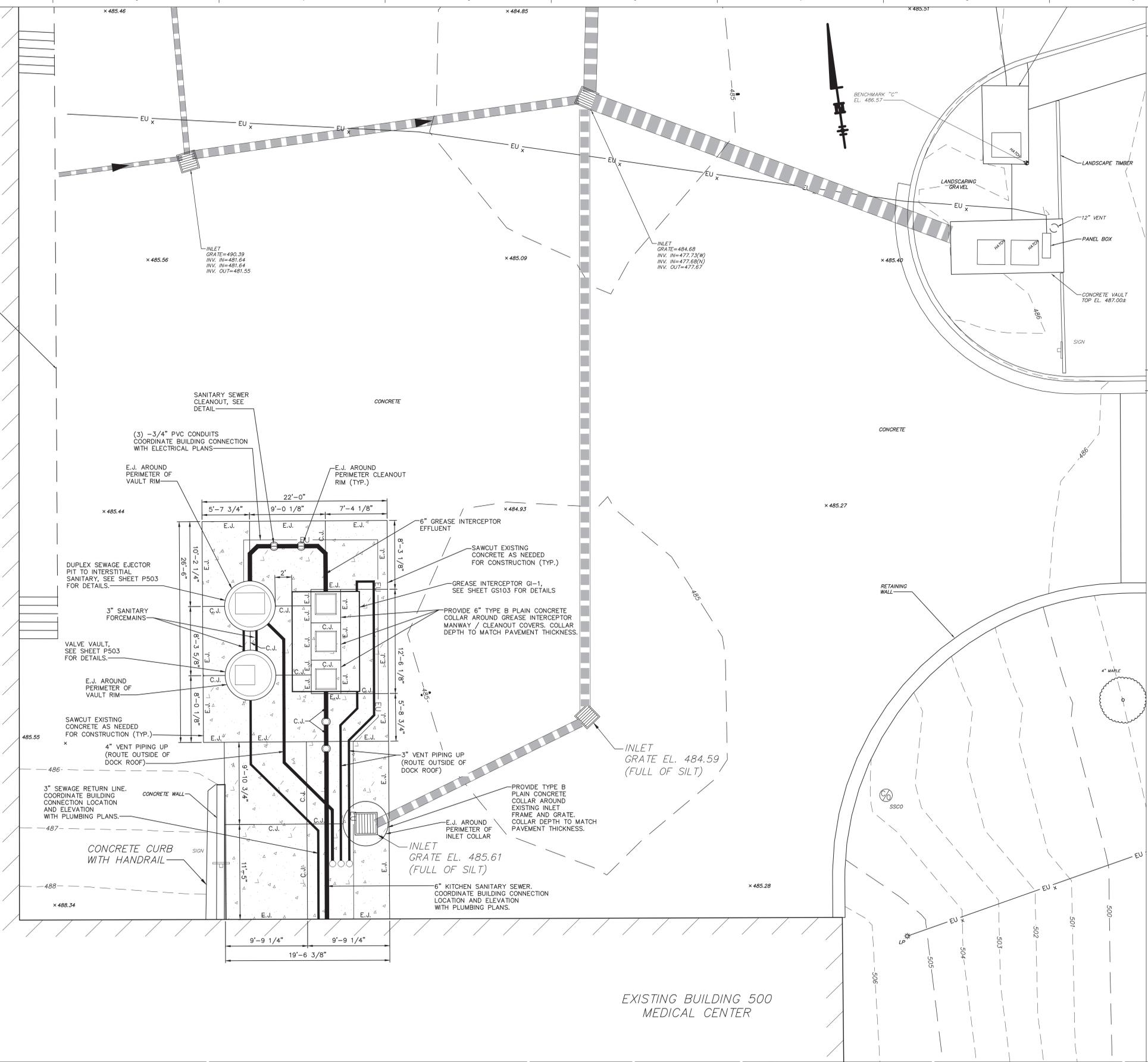
FULLY SPRINKLERED

VA CONTRACT NO: 36C24519C0171		
Project Title RENOVATE/UPGRADE NFS KITCHEN - BUILDING 500 BASEMENT	Project Number 613-19-103	Building Number 500
Location 510 BUTLER AVENUE, MARTINSBURG, WV 25405	Issue Date 11/24/21	Checked II
Drawn KA	Drawing Number GC201	

EXISTING BUILDING 500
MEDICAL CENTER

EXISTING SITE LEGEND	
	EXISTING BUILDING
	EXISTING INDEX CONTOUR (5')
	EXISTING INTERMEDIATE CONTOUR (1')
	EXISTING CONCRETE CURB AND GUTTER
	EXISTING GRAVEL
	EXISTING CONCRETE
	EXISTING SIGN
	EXISTING LIGHT POLE
	EXISTING BOLLARD
	EXISTING DECIDUOUS TREE
	EXISTING EVERGREEN TREE
	EXISTING STORM SEWER PIPE
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING CLEAN OUT
	EXISTING SANITARY SEWER MANHOLE
	EXISTING ELECTRIC LINE
	EXISTING ELECTRIC MANHOLE

PROPOSED SITE LEGEND	
	PROPOSED CONCRETE
	PROPOSED EXPANSION JOINT
	PROPOSED CONTRACTION JOINT
	PROPOSED INDEX CONTOUR (5')
	PROPOSED INTERMEDIATE CONTOUR (1')
	PROPOSED SANITARY SEWER / VENT PIPE
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED ELECTRICAL HANDHOLE



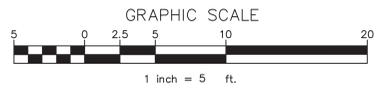
LOADING DOCK

C

D

E

F



EXISTING BUILDING 500
MEDICAL CENTER

VA CONTRACT NO: 36C24519C0171

BID DOCUMENTS SUBMITTAL	11.24.2021
100% CONSTRUCTION DOCUMENTS SUBMISSION	04.05.2021
95% CONSTRUCTION DOCUMENTS SUBMISSION	02.12.2021
60% DESIGN DEVELOPMENT SUBMISSION	09.11.2020
30% SCHEMATIC DESIGN SUBMISSION	05.24.2020
Revisions:	Date:

CONSULTANT

GD&F

GWIN DOBSON & FOREMAN ENGINEERS

3121 Fairway Drive
Altoona, PA 16602
814.943.5214
gdfengineers.com

ARCHITECT/ENGINEER OF RECORD

Bancroft

BANCROFT ARCHITECTS + ENGINEERS

700 Nicholas Bldg. Suite 300
Elk Grove Village IL 60007
T: 847.952.9362 F: 847.952.9403
www.bancroft-ae.com
Bancroft-AE Project No. 18-133

STAMP

STATE OF WEST VIRGINIA
REGISTERED PROFESSIONAL ENGINEER
21049

Office of Construction and Facilities Management

VA U.S. Department of Veterans Affairs

Drawing Title

PROPOSED SITE PLAN

Approved: Project Director

Phase

BID DOCUMENTS SUBMITTAL

FULLY SPRINKLERED

Project Title

RENOVATE/UPGRADE NFS KITCHEN - BUILDING 500 BASEMENT

Location

510 BUTLER AVENUE, MARTINSBURG, WV 25405

Issue Date

11/24/21

Checked

KWB

Drawn

DLK

Project Number

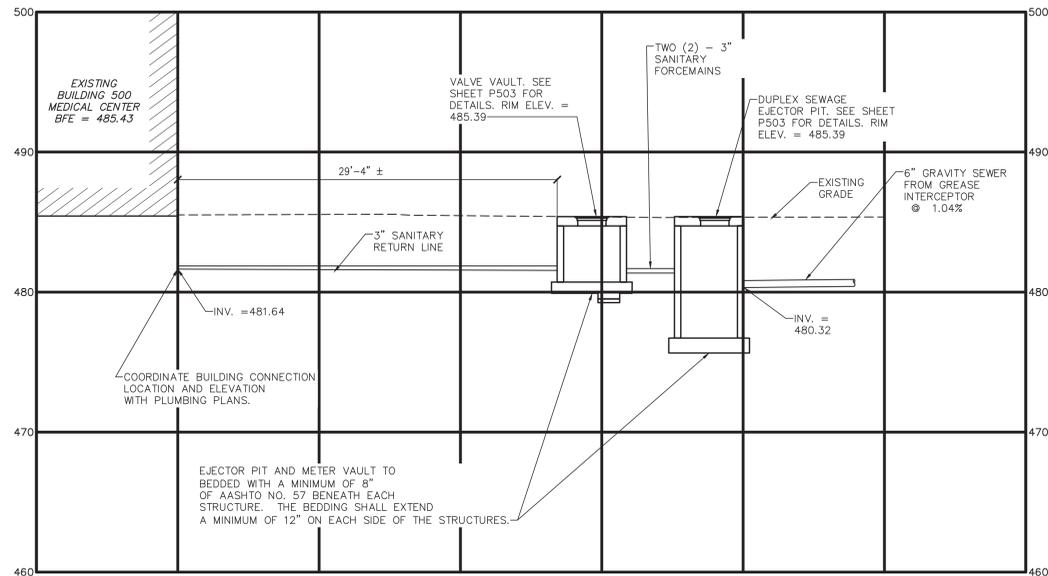
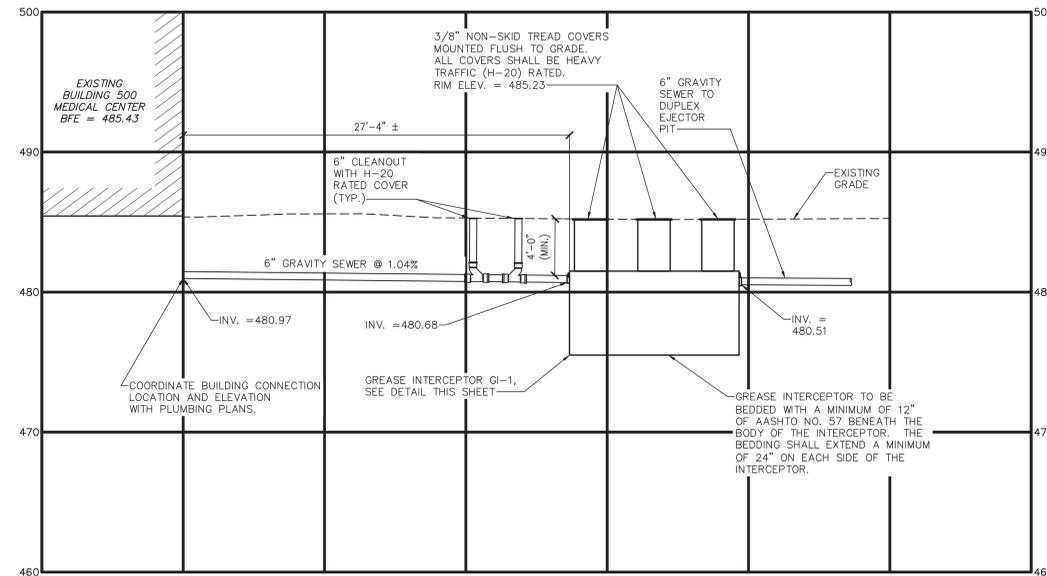
613-19-103

Building Number

500

Drawing Number

GS102

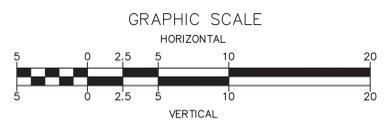


GREASE INTERCEPTOR PROFILE NOTES:

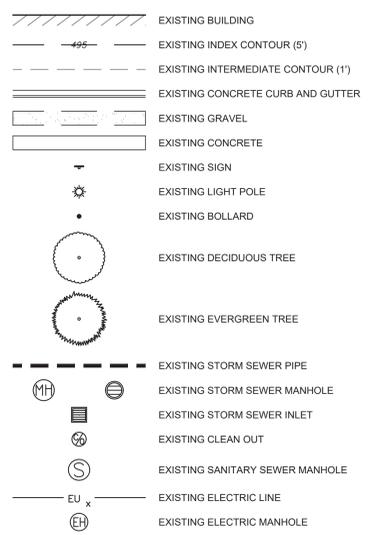
1. VENT LINES AND CONDUITS NOT SHOWN FOR CLARITY.
2. MINIMUM DEPTH OF COVER OVER ANY PIPE OR CONDUIT SHALL BE 4'-0"
3. COORDINATE BUILDING CONNECTION LOCATION AND ELEVATION WITH ELECTRICAL AND PLUMBING PLANS.
4. MANWAY / CLEANOUT RISERS SHALL BE FABRICATED TO PROVIDE THE NECESSARY DEPTH OF COVER SHOWN ON THE PLANS.

VAULT PROFILE NOTES:

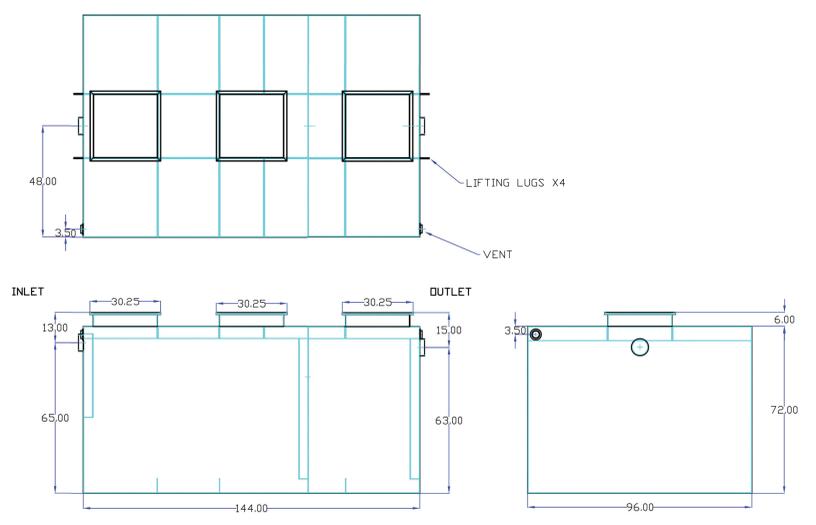
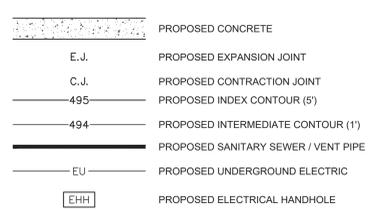
1. VENT LINES AND CONDUITS NOT SHOWN FOR CLARITY.
2. MINIMUM DEPTH OF COVER OVER ANY PIPE OR CONDUIT SHALL BE 4'-0"
3. COORDINATE BUILDING CONNECTION LOCATION AND ELEVATION WITH ELECTRICAL AND PLUMBING PLANS.
4. WALL AND SLAB THICKNESS FOR THE METER VAULT AND EJECTOR PIT ARE TO BE DETERMINED BY PRECAST CONCRETE MANUFACTURER/SUPPLIER. THE DIMENSIONS SHOWN ARE ASSUMED AND USED FOR LAYOUT DIMENSIONS.
5. STRUCTURAL DESIGN OF THE METER VAULT AND EJECTOR PIT SHALL BE BY THE MANUFACTURER, INCLUDING PRECAST TOP SLAB AND CONCRETE BASE. UPLIFT RESISTANCE DUE TO POSSIBILITY OF HIGH GROUNDWATER AND EMPTY TANK SHALL BE ACCOUNTED FOR DURING DESIGN CONSIDERATIONS USE 2,000 PSF ALLOWABLE SOIL BEARING PRESSURE. TOP SLAB AND WALLS TO BE DESIGNED FOR H-20 LOADING.
6. PRECAST STRUCTURES SHALL BE MANUFACTURED PER ASTM C-478, WITH A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI AT 28 DAYS.



EXISTING SITE LEGEND



PROPOSED SITE LEGEND



GREASE INTERCEPTOR GENERAL NOTES:

1. GREASE INTERCEPTOR SHALL BE AN ALL WELDED STEEL GREASE INTERCEPTOR WITH MINIMUM 3,500 GALLON CAPACITY, 17,460 LBS. GREASE SLUDGE CAPACITY, ROCKFORD SANITARY SYSTEMS, INC. MODEL RGI-3500 OR EQUAL.
2. INTERCEPTOR SHALL HAVE 6" DIA. THREADED INFLUENT AND EFFLUENT CONNECTIONS AND 3" DIA. VENT CONNECTIONS.
3. MANWAY / CLEANOUT COVERS SHALL HAVE REMOVABLE 3/8" NON-SKID TREAD COVERS THAT ARE TO BE MOUNTED FLUSH TO GRADE. THE COVERS SHALL BE CAPABLE OF SUPPORTING HEAVY TRAFFIC (H-20) LOADINGS SECURED WITH STAINLESS STEEL FLAT HEAD SCREWS, HEAVY DUTY LEAK PROOF GASKET AND WITH BITUMINOUS OUTSIDE COATING.
4. GREASE INTERCEPTOR SHALL BE STORED AND INSTALLED FOLLOWING ALL MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

1 GREASE INTERCEPTOR DETAIL
NTS

GENERAL NOTES:

1. THE VAMC MARTINSBURG MASTER UTILITY PLAN HAS IDENTIFIED A POTENTIAL UNDERGROUND STORAGE TANK IN THE VICINITY OF THE IMPROVEMENTS SHOWN ON THIS PLAN. NO INDICATORS SUCH AS VENT PIPING, CLEANOUTS, ETC. WERE ENCOUNTERED DURING THE FIELD SURVEY. IT IS EXPRESSLY STATED THAT INFORMATION CONCERNING EXISTING FACILITIES AND SUBSURFACE CONDITIONS SHOWN ON THESE DRAWINGS WAS OBTAINED FROM DESIGN/RECORD DRAWINGS AND FIELD SURVEYS AND MAY NOT REPRESENT CONDITIONS EXACTLY AS THEY EXIST AT THE PRESENT. THE FACILITIES ARE DEPICTED BASED UPON THE BEST AVAILABLE KNOWLEDGE AT THE TIME OF PLAN DRAWING PREPARATION. WHEN THE INFORMATION PRESENTED HERE IS USED BY THE CONTRACTOR IN THE DEMOLITION, MODIFICATION OR CONSTRUCTION OF THE WORK, ACCURACY AND/OR COMPLETENESS OF THE INFORMATION IS NOT GUARANTEED OR WARRANTED BY THE ENGINEER OR ANY AGENT THEREOF. THE CONTRACTOR SHALL REVIEW THE DRAWINGS PERTAINING TO EXISTING FACILITIES AND PERFORM THE NECESSARY ON-SITE INSPECTIONS TO DEVELOP A FULL UNDERSTANDING OF THE SCOPE OF THE WORK. ANY DEVIATIONS FROM THE INFORMATION DEPICTED ON THE DRAWINGS, FOUND DURING CONSTRUCTION, WILL NOT BE THE BASIS OF A CLAIM FOR ADDITIONAL COMPENSATION.
2. THE CONTRACTOR IS ADVISED OF THE EXISTENCE OF UNDERGROUND WATERLINES, STORAGE TANKS, SANITARY SEWERS, GAS LINES, SERVICE LINES, ELECTRIC AND TELEPHONE AND OTHER UTILITIES. THE HORIZONTAL AND VERTICAL ALIGNMENTS ARE SHOWN ON THE DRAWINGS FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR IS ADVISED THAT PRIOR TO ANY EARTH DISTURBANCE ACTIVITIES, THEY SHALL PERFORM EXPLORATORY EXCAVATIONS TO DETERMINE SAID LOCATIONS. IF CONFLICTS OCCUR WITH EXISTING UTILITIES, THE CONTRACTOR SHALL NOTIFY THE COR AND A/E OF SAID CONFLICTS IMMEDIATELY. THE CONTRACTOR SHALL ADJUST THE LOCATION OF THE PROPOSED PIPING AND STRUCTURES AS COORDINATED AND APPROVED BY THE COR AND A/E. THE CONTRACTOR SHALL UNDERSTAND THAT NO SEPARATE PAYMENT SHALL BE MADE FOR THE REQUIRED EXPLORATORY EXCAVATIONS OR SUBSEQUENT ADJUSTMENTS REQUIRED. IN ADDITION, THE CONTRACTOR SHALL REPAIR ALL UTILITIES DAMAGED DURING THE COURSE OF CONSTRUCTION TO THE SATISFACTION OF THE VA. THE CONTRACTOR SHALL ENSURE THE MAINTENANCE OF ALL UTILITY SERVICES AND LIMIT SHUTDOWNS, IF REQUIRED, TO A MINIMUM. NO SEPARATE PAYMENTS SHALL BE MADE FOR SAID UTILITY REPAIRS AND SERVICE MAINTENANCE.
3. CONTRACTOR SHALL DESIGN, FURNISH AND INSTALL STEEL SHEET PILING OR OTHER EARTH RETAINING SYSTEM: DEPTH, TYPE, SIZE AND METHOD AS NEEDED TO COMPLETE CONSTRUCTION. CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORT/SHORING AS NEEDED. THE LOADING AREA IS TO REMAIN OPERATIONAL DURING THE DURATION OF CONSTRUCTION AND THE MAINTENANCE OF THE STABILITY OF EXISTING STRUCTURES AND UTILITIES THROUGHOUT THE DURATION OF CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
4. THE CONTRACTOR WILL, AT ALL TIMES THROUGHOUT THE WORK, COOPERATE FULLY WITH THE COR IN PERMITTING ALL NECESSARY OPERATIONS OF THE MEDICAL CENTER TO PROCEED UNIMPEDED BY THE CONTRACTOR'S OPERATIONS.
5. SERVICE OUTAGES WILL BE KEPT TO THE MINIMUM EXTENT PRACTICABLE. THE CONTRACTOR WILL MAINTAIN A RECORD OF THE DATE, TIME, AND DURATION OF ALL OUTAGES THROUGHOUT THE PERFORMANCE OF THE WORK. IN NO EVENT WILL ANY SERVICE BE PERMITTED TO BE CURTAILED DURING NONWORKING HOURS, OVERNIGHT OR OVER WEEKENDS OR HOLIDAYS, UNLESS SPECIFICALLY APPROVED AND PLANNED IN ADVANCE. ALL MATERIALS NECESSARY TO INSTALL THE WORK NECESSITATING THE OUTAGE MUST BE ON SITE AND READY FOR INSTALLATION BEFORE NOTIFYING THE COR OF THE ANTICIPATED SHUTDOWN.
6. THE CONTRACTOR WILL PLAN, COORDINATE AND SEQUENCE THEIR WORK IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH HEREIN AND TO MEET THE NEEDS OF THE MEDICAL CENTER. THE VA RESERVES THE RIGHT TO COORDINATE THE SEQUENCING OF WORK ELEMENTS IN WHOLE OR IN PART AS THE JOB CONDITIONS MAY REQUIRE.
7. THE CONTRACTOR WILL NOTE THAT THE WORK MAY INVOLVE MODIFICATIONS TO AND THE DEMOLITION OF EXISTING FACILITIES AND STRUCTURES WHICH, DUE TO THE NATURE OF THE VARIOUS ITEMS OF THE WORK, MUST BE COMPLETED, IN SOME INSTANCES, IN SEQUENCE WITH ONE ANOTHER DUE TO THE PHYSICAL REQUIREMENTS OF THE WORK OR THE OPERATIONAL NEEDS OF THE MEDICAL CENTER.
8. THE CONTRACTOR MUST AT ALL TIMES COORDINATE ITS WORK SCHEDULE AND SEQUENCING THROUGH THE COR TO AVOID INTERFERENCE WITH NECESSARY OPERATIONS. IT IS ANTICIPATED THAT MAJOR ALTERATIONS OR ADJUSTMENTS TO THE SEQUENCING AND SCHEDULING OF THE WORK WILL BE PLANNED IN ADVANCE.
9. HORIZONTAL CONTROLS ARE REFERENCED TO THE WEST VIRGINIA STATE PLANE (NAD 83), NORTH ZONE. VERTICAL CONTROLS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

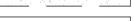
VA CONTRACT NO: 36C24519C0171

<p>CONSULTANT</p> <p>GD&F GWIN DOBSON & FOREMAN ENGINEERS 3121 Fairway Drive Altoona, PA 16602 814.943.5214 gdfengineers.com</p>		<p>ARCHITECT/ENGINEER OF RECORD</p> <p><i>Bancroft</i> BANCROFT ARCHITECTS + ENGINEERS www.bancroft-ae.com 700 Nicholas Bl. d. Suite 300 Elk Grove Village IL 60007 T: 847.952.9362 F: 847.952.9403 www.bancroft-ae.com Bancroft-AE Project No. 18-133</p>		<p>STAMP</p>	<p>Office of Construction and Facilities Management</p> <p>VA U.S. Department of Veterans Affairs</p>	<p>Drawing Title</p> <p>GREASE INTERCEPTOR PROFILE, NOTES AND DETAIL</p> <p>Approved: Project Director</p>	<p>Phase</p> <p>BID DOCUMENTS SUBMITTAL</p> <p>FULLY SPRINKLERED</p>	<p>Project Title</p> <p>RENOVATE/UPGRADE NFS KITCHEN - BUILDING 500 BASEMENT</p> <p>Location: 510 BUTLER AVENUE, MARTINSBURG, WV 25405</p> <p>Issue Date: 11/24/21</p> <p>Checked: KWB Drawn: DLK</p>	<p>Project Number</p> <p>613-19-103</p> <p>Building Number</p> <p>500</p> <p>Drawing Number</p> <p>GS103</p>
--	--	---	--	---------------------	--	---	---	--	--

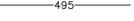
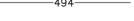
G:\20080\Kitchen Project\20080_05103.dwg 11-24-21 09:00:27 AM kbeldin

A
B
C
D
E
F

EXISTING SITE LEGEND

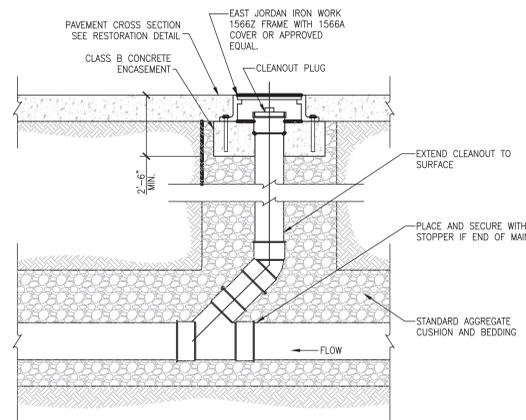
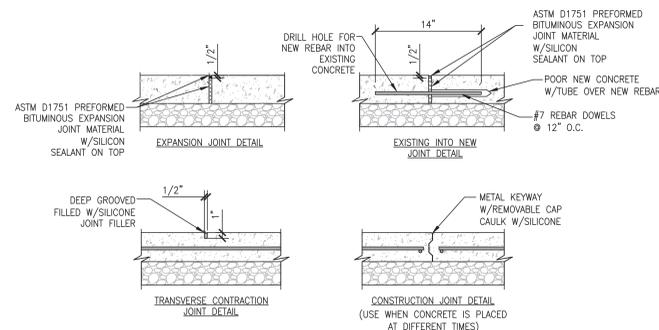
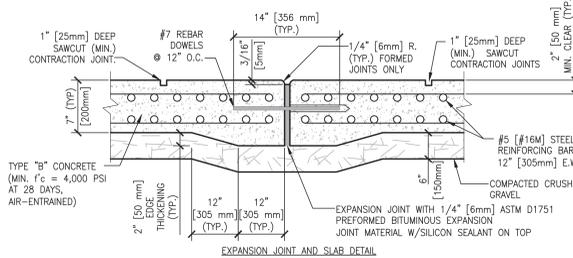
-  EXISTING BUILDING
-  EXISTING INDEX CONTOUR (5)
-  EXISTING INTERMEDIATE CONTOUR (1')
-  EXISTING CONCRETE CURB AND GUTTER
-  EXISTING GRAVEL
-  EXISTING CONCRETE
-  EXISTING SIGN
-  EXISTING LIGHT POLE
-  EXISTING BOLLARD
-  EXISTING DECIDUOUS TREE
-  EXISTING EVERGREEN TREE
-  EXISTING STORM SEWER PIPE
-  EXISTING STORM SEWER MANHOLE
-  EXISTING STORM SEWER INLET
-  EXISTING CLEAN OUT
-  EXISTING SANITARY SEWER MANHOLE
-  EXISTING ELECTRIC LINE
-  EXISTING ELECTRIC MANHOLE

PROPOSED SITE LEGEND

-  PROPOSED CONCRETE
-  E.J. PROPOSED EXPANSION JOINT
-  C.J. PROPOSED CONTRACTION JOINT
-  495 PROPOSED INDEX CONTOUR (5')
-  494 PROPOSED INTERMEDIATE CONTOUR (1')
-  PROPOSED SANITARY SEWER / VENT PIPE
-  EU PROPOSED UNDERGROUND ELECTRIC
-  PROPOSED ELECTRICAL HANDHOLE

NOTES:

1. EXPANSION JOINTS SHALL BE LOCATED WHERE CONCRETE ABUTS CONCRETE DRIVEWAYS, CURB OR OTHER ADJACENT STRUCTURES.
2. ONE-HALF INCH BITUMINOUS JOINT FILLER SHALL BE INSTALLED AT EXPANSION JOINT LOCATIONS AND SHALL EXTEND THE FULL DEPTH OF THE CONCRETE.
3. 1" [25mm] DEEP CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS INDICATED ON THE PLANS.
4. THE PANEL LENGTHS INDICATED ON THE PLANS ARE APPROXIMATE AND BASED UPON THE BEST AVAILABLE INFORMATION. PANEL LENGTHS AND DIMENSIONS MUST BE FIELD VERIFIED TO THE NEAREST EXISTING JOINT AND ANY DEVIATION FROM THE LENGTHS AND WIDTHS INDICATED ON THE PLANS SHALL BE CONFIRMED BY THE COR AND PROJECT A/E BEFORE INSTALLATION.
5. EDGE THICKENING SHALL BE PROVIDED AT ALL EXPANSION JOINTS AND AREAS WHERE THE PROPOSED CONCRETE PAVEMENT ABUTS EXISTING CONCRETE PAVEMENT.



VA CONTRACT NO: 36C24519C0171

BID DOCUMENTS SUBMITTAL	11.24.2021
100% CONSTRUCTION DOCUMENTS SUBMISSION	04.05.2021
95% CONSTRUCTION DOCUMENTS SUBMISSION	02.12.2021
60% DESIGN DEVELOPMENT SUBMISSION	09.11.2020
30% SCHEMATIC DESIGN SUBMISSION	05.24.2020
Revisions:	Date:

CONSULTANT

GD&F

GWIN DOBSON & FOREMAN ENGINEERS

3121 Fairway Drive
Altoona, PA 16602
814.943.5214
gdfengineers.com

ARCHITECT/ENGINEER OF RECORD

Bancroft

BANCROFT ARCHITECTS + ENGINEERS

700 Nicholas Bk. d. Suite 300
Elk Grove Village IL 60007
T: 847.952.9362 F: 847.952.9403
www.bancroft-ae.com
Bancroft-AE Project No. 18-133

STAMP

Professional Engineer Seal for W. Belmont, State of West Virginia, No. 21049.

Office of Construction and Facilities Management

VA U.S. Department of Veterans Affairs

Drawing Title
CONCRETE PAVEMENT RESTORATION NOTES AND DETAILS

Approved: Project Director

Phase
BID DOCUMENTS SUBMITTAL

FULLY SPRINKLERED

Project Title
RENOVATE/UPGRADE NFS KITCHEN - BUILDING 500 BASEMENT

Location
510 BUTLER AVENUE, MARTINSBURG, WV 25405

Issue Date
11/24/21

Checked
KWB

Drawn
DLK

Project Number
613-19-103

Building Number
500

Drawing Number
GS104

G:\20080\Kitchen Project\20080_05104.dwg 11-24-21 09:00:39 AM kbeldin