

Sources Sought Notice

SUBJECT* New Findlay OH CBOC Lease- Amended delineated area and response date

GENERAL INFORMATION

CONTRACTING OFFICE'S ZIP CODE*	46240
SOLICITATION NUMBER*	36C25023R0072
RESPONSE DATE/TIME/ZONE	03-20-2023 13:00 EASTERN TIME, NEW YORK, USA
ARCHIVE	99 DAYS AFTER THE RESPONSE DATE
RECOVERY ACT FUNDS	N
SET-ASIDE	
PRODUCT SERVICE CODE*	X1DB
NAICS CODE*	531120
CONTRACTING OFFICE ADDRESS	Department of Veterans Affairs Network Contracting Office 10 8888 Keystone Crossing Suite 1100 Indianapolis, IN 46240
POINT OF CONTACT*	Leasing Contracting Specialist Danielle Butler Danielle.Butler1@va.gov 216-447-8300 x 49643 Theodore Posuniak Theodore.Posuniak@va.gov

PLACE OF PERFORMANCE

ADDRESS

POSTAL CODE	Findlay OH 45840
COUNTRY	USA

ADDITIONAL INFORMATION

AGENCY'S URL	https://www.va.gov/ann-arbor-health-care/
URL DESCRIPTION	VA home page
AGENCY CONTACT'S EMAIL ADDRESS	Danielle.Butler1@va.gov
EMAIL DESCRIPTION	POC

*= Required Field

Sources Sought Notice

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DESCRIPTION

SOURCES SOUGHT NOTICE 36C25023R0072

The U.S. Department of Veterans Affairs Seeks Expressions of Interest for 8,500 American National Standards Institute/Building Owners and Managers Association (ANSI/BOMA) Office Area (ABOA) Square Feet of Medical Clinic Space in the area of Findlay, OH.

Notice: This advertisement is a notice of a potential opportunity. This advertisement is **not a solicitation for offers**, nor is it a request for proposals. The purpose of this advertisement is to identify potential sources and suitable locations, and is not intended to pre-qualify or disqualify any potential offers. The Government **will not pay** for any costs incurred as a result of this advertisement. The Government cannot provide any warranty, expressed or implied, as to the accuracy, reliability or completeness of contents of the furnished information found within this advertisement; Government is under no responsibility to respond to and is unable to answer any inquiries regarding this advertisement. Respondents are advised that the Government assumes no responsibility to award a lease based upon responses to this advertisement. The NAICS Code is 531120 Lessors of Nonresidential Buildings, and the small business size standard is \$41.5 Million.

The Department of Veterans Affairs (VA) **is also conducting market research**, seeking capable sources that are classified and registered at <https://www.vetbiz.va.gov/vip/> as either Service-Disabled Veteran Owned Small Business (SDVOSB) or Veteran Owned Small Business (VOSB) that are interested in leasing space to the Department of Veterans Affairs.

Respondents are advised that the Government assumes no responsibility to award a lease based upon responses to this advertisement.

Contracting Office Address: Network Contracting Office 10, Suite 1100 - 8888 Keystone Crossing
Indianapolis, IN 46240

Description: The Department of Veterans Affairs seeks to lease 8,500 ABOA Square Feet (SF) of medical office space and 36 parking spaces for use by the VA as a Consolidated Medical Clinic in the delineated area explained below within Findlay, Ohio. The space shall be located within the delineated area stated below. VA will consider space located in an existing building as well as a building being constructed for multi-tenant use and not specifically a build-to-suit for VA use only.

ABOA is generally defined as the space remaining once common areas, lessor areas, and non-programmatic areas required by code are deducted from the rentable square feet of the facility. ABOA does not include areas such as stairs, elevators, mechanical and utility rooms, ducts, shafts, vestibules, public corridors, and public toilets required by local code. VA will provide all detailed definitions, should a solicitation for offers or request for proposals be issued for this project.

Lease Term: Not to exceed 20 Years

Delineated Area: To receive consideration, submitted properties must be located within the area described below, which is bound by the following roads or must front on any of the following boundary lines:

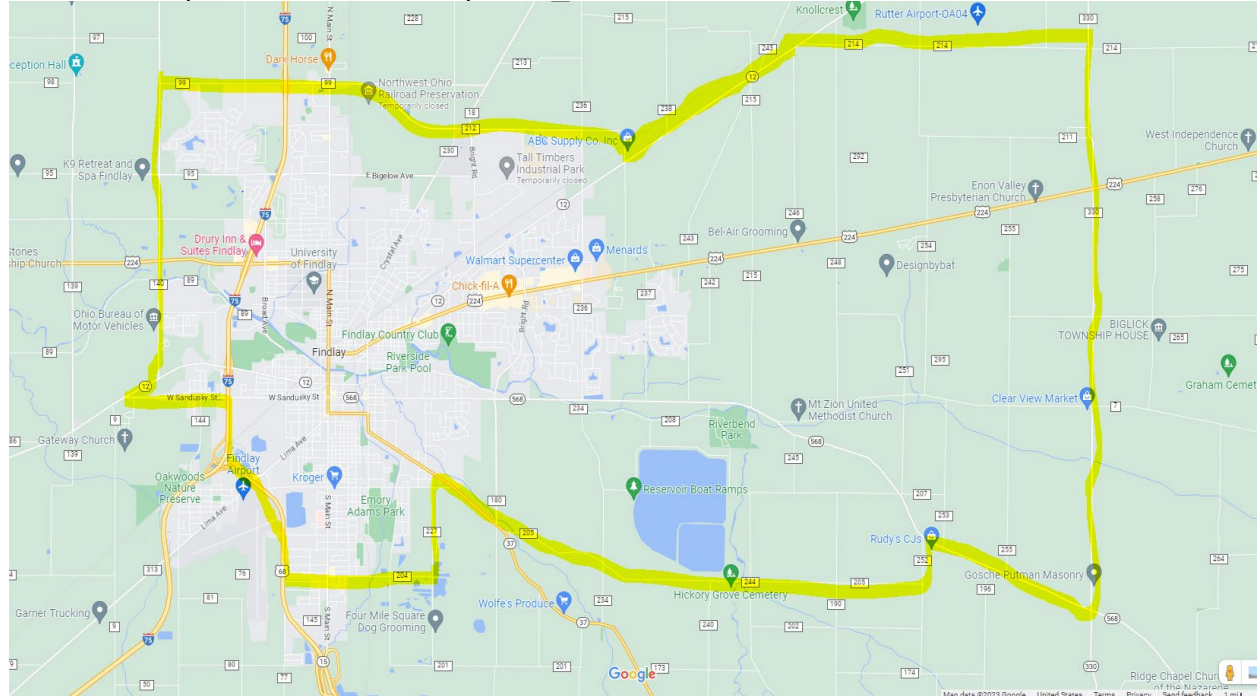
Bounded on the North: County Road 99 travelling East to 212 then intersecting with 12 traveling NE to 214

Bounded on the East: County Road 330 traveling South to 568

Bounded on the South: County Road 568 traveling West to 252. Drops slightly south to 205, then continues West to 37. Travel 37 NW to 227, then head south to 204, then intersecting at US-68

Bounded on the West: Travel North on US-68 to I-75N. Head West on W. Sandusky St. slightly, then proceed North on 140. Northwest corner of delineated area is the intersection of 140 and 99

The attached map of the delineated area is provided for further clarification of the boundaries of the delineated area.



ADDITIONAL REQUIREMENTS:

- (1) Offered Space shall be located on a single floor within one building; preferably be located on the first (1st) floor. If the offered space is above the first (1st) floor, the space shall be equipped with a minimum of one (1) passenger elevator able to accommodate a standard ambulance gurney and one (1) combination (passenger/freight) elevator.
- (2) Bifurcated sites, inclusive of parking, are not permissible.
- (3) The following space configurations will not be considered: Space with atriums, extremely long or narrow runs of space (more than twice as long as wide), irregularly shaped space configurations or other unusual building features adversely affecting usage.
- (4) Column size shall not exceed two (2) feet square and space between columns and/or walls shall not be less than twenty (20') feet
- (5) Offered space shall not be in the FEMA 100-year flood plain.
- (6) Offered space shall be zoned for VA's intended use.
- (7) Offered space will not be considered if located within close proximity to a property with incompatible uses, including but not limited to the following uses: liquor establishments, cannabis dispensaries or methadone clinics, drug and alcohol treatment centers, correctional facilities, establishments where firearms are sold/discharged, railroad tracks, or within flight paths.
- (8) Offered space will not be considered if located in close proximity to residential neighborhoods or industrial areas.
- (9) Space will not be considered where apartment space or other living quarters are located within the same building.
- (10) Offered space must be located in close proximity to amenities including but not limited to restaurants, hotels, pharmacies, and shopping.
- (11) Offered space must be easily accessible to multiple major roadways which provide multiple routes of travel.
- (12) A subway, light rail, or bus stop shall be located within the immediate vicinity of the Building, but generally not exceeding a safely accessible, walkable mile from the principal functional entrance of the building. Alternatively, two or more public or campus bus lines usable by Veterans shall be located within the immediate vicinity of the building.
- (13) Structured parking under the space is not permissible.
- (14) Offered space must meet Federal and Local Government requirements for fire safety, physical security, accessibility, seismic, and sustainability standards per the terms of the solicitation for offers or requests for proposals.
- (15) A fully serviced lease is required.
- (16) Offered space must be compatible with VA's intended use.

All submissions should include the following information:

- (1) Name and address of current property owner;
- (2) Address or described location of building;
- (3) A statement as to whether the building lies within the Delineated Area;
- (4) Location on map, demonstrating the building lies within the Delineated Area;
- (5) Description of ingress/egress to the building from a public right-of-way;
- (6) Description of the uses of adjacent properties;
- (7) FEMA map of location evidencing floodplain status;
- (8) A description of any planned land development or construction that will affect the site, including neighboring projects and road/utility line construction;
- (9) Site plan depicting the property boundaries, building, and parking;
- (10) Floor Plan, Parking Plan and ABOA/RSF/NUSE, of proposed space;
- (11) A document indicating the type of zoning;
- (12) A description of any changes to the property necessary to be compatible with VA's intended use;
- (13) Building owners shall provide evidence of ownership. Non-owners (e.g. prospective developers/lessors) submitting a building shall provide evidence of permission or authority granted by property owner to submit the building to VA for development;
- (14) Any information related to title issues, easements, and restrictions on the use of the building;
- (15) A statement indicating the current availability of utilities serving the proposed space or property.
- (16) If you are qualified as a Veteran Owned Small Business (VOSB) or Service-Disabled Veteran Owned Small Business (SDVOSB) under NAICS Code 531120 Lessors of Nonresidential Buildings with a small business size standard of \$41.5 million, please read the below attachment, entitled, "VOSB or SDVOSB Status". You are invited, but not required to submit a Capabilities Statement;

All interested parties must respond to this advertisement via e-mail no later than March 30, 2023, at 1:00 P.M. LOCAL TIME to:

Please submit your response electronically to:

Theodore Posuniak
Leasing Contracting Officer
Theodore.Posuniak@va.gov

Danielle M. Butler
Leasing Contracting Specialist
Danielle.Butler1@va.gov

Market Survey (Estimated): April 2023

Occupancy (Estimated): January 2024

Attachment - VOSB or SDVOSB Status

This is not a request for proposals, only a request for information for planning purposes, and does not constitute a solicitation. A solicitation may or may not be issued.

The NAICS Code for this procurement is 531120 Lessors of Nonresidential Buildings, and the small business size standard is \$41.5 million. Responses to this notice will assist in determining if the acquisition should be set-aside for SDVOSB or VOSB concerns in accordance with 38 USC § 8127.

The magnitude of the anticipated construction/buildout for this project is:

- ☐ (a) Less than \$25,000;
- ☐ (b) Between \$25,000 and \$100,000;
- ☐ (c) Between \$100,000 and \$250,000;
- ☐ (d) Between \$250,000 and \$500,000;
- ☒ (e) Between \$500,000 and \$1,000,000;
- ☐ (f) Between \$1,000,000 and \$2,000,000;
- ☐ (g) Between \$2,000,000 and \$5,000,000;
- ☐ (h) Between \$5,000,000 and \$10,000,000;
- ☐ (i) Between \$10,000,000 and \$20,000,000;
- ☐ (j) Between \$20,000,000 and \$50,000,000;
- ☐ (k) Between \$50,000,000 and \$100,000,000;
- ☐ (l) More than \$100,000,000.

VA makes monthly rental payments in arrears upon facility acceptance and may elect to make a single lump-sum payment or amortize over the course of the firm term for specified tenant improvements. VA makes no progress payments during the design or construction/build-out phases of the project.

Project Requirements: This Sources Sought Notice seeks information from Potential Offerors who are capable of successfully performing a lease contract, including design and construction of the facility described above, for a term of five (5) years, inclusive of all options, as well as all maintenance and operation requirements for the duration of the lease term, at a fair and reasonable price.

SDVOSB and VOSB firms are invited to provide information to contribute to the market research for this project. SDVOSB and VOSB firms must be registered in VA's Vendor Information Pages (VIP) site at <https://www.vetbiz.va.gov/vip/>. All business concerns must have the technical skills and financial capabilities necessary to perform the stated requirements. A submission checklist and information sheets are provided below for firms to fill out and submit, which will serve as the firm's Capabilities Statement.

Capabilities Statement Will Include:

1. Company name, address, point of contact, phone number, Experian Business Identification Number, and e-mail address;
2. Evidence of SDVOSB or VOSB status through registration at VIP ([VIP Home](https://www.vetbiz.va.gov/vip/) · [VetBiz Portal \(va.gov\)](https://www.vetbiz.va.gov/vip/)) - <https://www.vetbiz.va.gov/vip/> ;
3. Evidence of ability to offer as a small business under NAICS Code 531120 and listing in the System for Award Management (www.SAM.gov), including a copy of the representations and certifications made in that system;
4. A summary describing up to three (3) projects of similar size and scope completed in the past five (5) years that demonstrate your company's experience designing, constructing, and managing Federal leased facilities or health care facilities relevant to the project described above. (3-page limit);
5. Evidence of at least a conditional commitment of funds in an amount necessary to prepare the Space.

If desired, the company may also submit a narrative describing its capability.

All business concerns are requested to submit a Capabilities Statement if they are interested in participating in this project.

**CAPABILITIES STATEMENT
SUBMISSION CHECKLIST AND INFORMATION SHEET**

Findlay, OH Lease Sources Sought Notice

Company name: _____
Company address: _____
Dunn and Bradstreet Number: _____
UEI Number: _____
Point of contact: _____
Phone number: _____
Email address: _____

The following items are attached to this Capabilities Statement:

- ☐ Evidence of SDVOSB or VOSB status through registration at VIP (<https://www.vip.vetbiz.gov/>);
- ☐ Evidence of ability to offer as a small business under NAICS Code [531120] and listing in the System for Award Management (www.SAM.gov), with representations and certifications;
- ☐ A summary describing at least three (3) projects of similar size and scope completed in the past five (5) years that demonstrate the company's experience designing, constructing, and managing Federal leased facilities or health care facilities relevant to (input project specific NUSF). (3-page limit); and
- ☐ Evidence of capability to obtain financing for a project of this size.

If desired, the company may also submit a narrative describing its capability, not to exceed two (2) pages.

By: _____
(Signature)

(Print Name, Title, Date)

******* End Word Document - ' OPPORTUNITIES-DESCRIPTION' *******