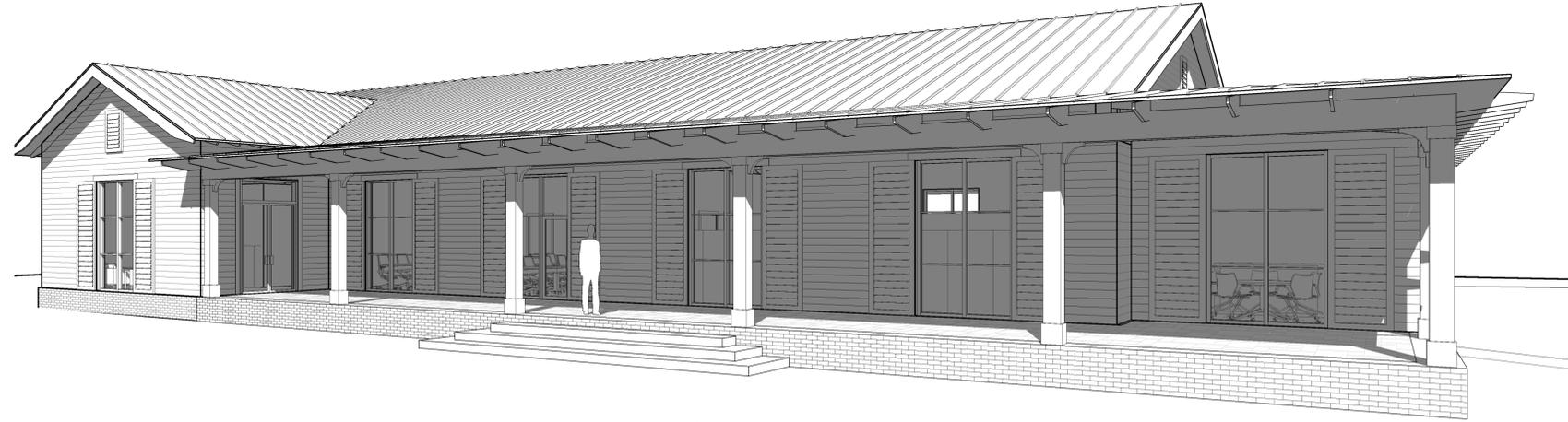


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INDEX OF SHEETS		
#	SHEET TITLE	DATE
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R-08
 Southern Region

STAMPS, LOGOS, AND SEALS

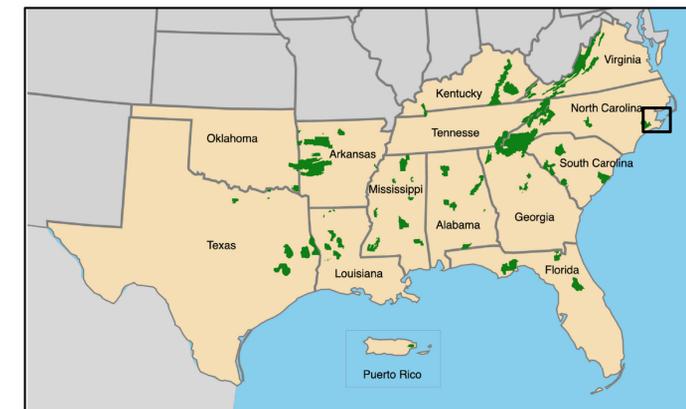


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SOUTHERN REGION
CROATAN NATIONAL FOREST
 CRAVEN COUNTY, NORTH CAROLINA

CROATAN RANGER DISTRICT OFFICE



PROJECT LOCATION

PROJECT NAME
Croatan Ranger Station

US Forest Service

New Bern, NC
 Issue Date
 DRAFT

DRAWING TITLE
COVER SHEET

DATE 09/16/20	ARCHIVE NUMBER
DESIGNER Designer	DRAWING SHEET NO. A0.0
DRAWN Author	
CHECKED Checker	
PROJECT NO. Project Number	

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DESIGN NARRATIVE

The design of the Croatan Ranger Station is inspired by some of the residential buildings of the Coastal south while also nodding to the woodlands that justify the mission of the Forest Service. Some of the components of this Coastal Woodlands aesthetic include long open porches, exposed rafter tails, simple details, and a light color palette.

The building is intended to be a wood-frame building with a slab on grade. The buildings also uses metal roofing as a nod to the traditions of the Coastal region, while also allowing for solar panels to be easily installed if and when the Forest Service chooses to install them. In order to satisfy the woodlands aesthetic efforts should be made to ensure that forest-protecting resources are used and the building itself serves as inspiration for employees and visitors alike.



GREEN GLOBES NARRATIVE

The new proposed Croatan Ranger Office can achieve the 2 Green Globes in the Green Building Initiative's rating system by working to ensure that enhanced analysis, procedural, and project management requirements are followed, while taking a moderate approach to building materials, water efficiency, and energy.

Due to the federal oversight of the project, items such as planning and project management should be easily handled by standard procedures, and the team felt these points could easily be accumulated in this sector. Due to the relatively rural nature of the site and greenfield development, the site does not earn many points in the Site sector. The relatively simple form of the building and large porch structures suggest that energy modeling and efficiency should be straightforward and efforts were made to address passive gains such as shading much of the windows to the south with the front porch, while still allowing natural light and the roof to have a clear view of the southern sky for placement of solar panels which can be added later. In addition, metering and management should be able to be easily integrated with the project and cost-effective.

Water efficiency is another category where the building should be able to easily gain many points by being slightly more efficient with plumbing fixtures, using water-efficient irrigation (or none at all), and using metering to control overall water-usage. From the beginning the team has been clear on its use of forest products and other natural materials throughout the building. The Materials category is one where the team assumed a middle of the road approach in terms of physical materials but assumes that time will be spent on life cycle assessment, waste management, and design for deconstruction. The Indoor environment category is driven largely by the mechanical equipment design, but the assumption is that fresh air, natural lighting, and monitoring will lead to a more productive and healthier workforce.

GBI Project Checklist for Green Globes for New Construction

Table with columns for Category, Item, Maximum Points, Targeted Points, and Applicable Points. Includes sections for Project Management, Site, Energy, Water Efficiency, Materials, and Indoor Environment. Total score is 6/8 (75% needed for 3 globes).

DISCLAIMER: This document is intended to provide information regarding the areas assessed and associated maximum points available under the Green Globes for New Construction (NG) 2019 program. Each of the areas presented here contain more specific criteria which are stated within the online Construction Documents questionnaire. Please refer to the Green Globes NC 2019 Technical Reference Manual to view all assessed criteria, associated maximum points possible, ToolTips and references. Please purchase and complete the online Construction Documents questionnaire for the most accurate self-evaluation of a project. Final Green Globes certification is based upon third-party assessor verified points at the conclusion of an assessment.

SITE DESIGN NARRATIVE

Site Development/Civil Engineering: Parking, paving, walkways, and low maintenance sustainable landscaping will be provided. Utilities including, electric, water, and telecommunications will be provided for the New Croatan Regional District Office.

Site Description: The existing Croatan Ranger District Office is being displaced due to the upgrade of US 70 to I-42. In compensation for the taking, the North Carolina Department of Transportation (NCDOT) will provide funding for a new office for the Croatan National Forest on National Forest System land adjacent to the existing work center.

Site Layout: The proposed site is located on the northeast corner of the intersection US Highway 70 and East Fisher Avenue in Craven County, NC. The new district office will be constructed adjacent to the existing Forest Service work center with vehicular access from East Fisher Avenue. The site is bound on the north by the Fisher Landing Recreation Site.

Demolition & Removal: The maximum estimated disturbed area will be approximately 4 acres. Additional area may be disturbed for installation of offsite utilities.

Constraints: The district office will have a northwest to southeast alignment with the front of the building facing East Fisher Avenue. Visitor Parking will be located on southwest side of the proposed building with Employee Parking being located on the northeast side of the proposed building. Vehicular access to the parking areas will have a one way circular pattern that will allow the use of the employees' lot if the visitor lot is full. The design of the roadway connecting the two parking area will provide at least one area for RV's to park on a temporary basis. If the roadway design allows two additional RV spaces would be of value to the facilities' operation.

Grading Requirements: The site is to be graded to provide positive drainage away from the proposed building and parking areas. The proposed finished floor elevation for the new building will be set at an elevation of two feet above the existing grade. A geotechnical subsurface investigation will be needed to confirm the amount of usable dirt that is located on the site.

Storm Water Drainage: Stormwater runoff from the building, roadways and parking area that will be conveyed in stormwater management bioswales. The site will be designed to meet all applicable North Carolina Division of Water Quality requirements as stated within the Stormwater Best Management Practices Manual, latest edition. The site will be graded to avoid adversely affecting downstream properties.

Pavement: Streets and Parking areas will be flexible pavement (Hot Mix Asphalt). All pavement will be design in accordance with the recommends of the Geotechnical Report.

Erosion Control: North Carolina Sedimentation Pollution Control Act of 1973 requires installation and maintenance of sufficient erosion control devices and practices to retain sediment within the boundaries of the site. At least 30 days prior to land disturbance an Erosion Prevention and Sedimentation Control Plan (EPSCP). North Carolina General Permit NCG10000, will need to be filed with the Division of Land Resources. The permit will be applicable to point source discharges of stormwater from construction activities disturbing one or more acres of land. The submission of a proposed EPSCP shall be considered to take the place of a notice of intent for coverage under this General Permit.

Water Distribution: Water service will be provided from a waterline located along East Fisher Avenue. The water line will be tapped at one locations. The service line will have backflow prevention and will be metered at the right-of-way. A flow test will be required to be performed prior to construction of the water distribution system.

Sewerage: There is an existing sanitary sewer lift station and force main adjacent to the site that is serviced by the City of New Bern, NC. The existing elevation is such that the sanitary sewer can gravity flow to the existing lift station.

Irrigation: An irrigation system is not proposed for this site. Environmental Impact Flood Hazard: FEMA Flood Insurance Rate Map Panel 3720640400K effective June 19, 2020 indicates that the site is located in "Zone X - Area of Minimal Flood Hazard".

Endangered Species: There are no known endangered species issues for this site.

Cultural Impact: There are no known cultural impact issues for this site.



R-08 Southern Region

STAMPS, LOGOS, AND SEALS



Table with columns for NO., REVISION/ISSUE, and DATE. Contains revision markers 1, 2, 3, 4.

PROJECT NAME: Croatan Ranger Station

US Forest Service

New Bern, NC Issue Date DRAFT

DRAWING TITLE: DOCUMENTATION

Table with columns for DATE, ARCHIVE NUMBER, DESIGNER, DRAWN, CHECKED, PROJECT NO. Includes drawing sheet number A0.1.



R-08

Southern Region

STAMPS, LOGOS, AND SEALS

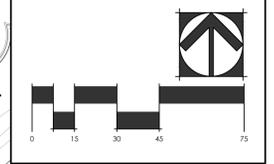


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PROJECT NAME
Croatan Ranger Station

UNITED STATES FOREST SERVICE

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Issue Date
Project Status



DRAWING TITLE
SITE PLAN

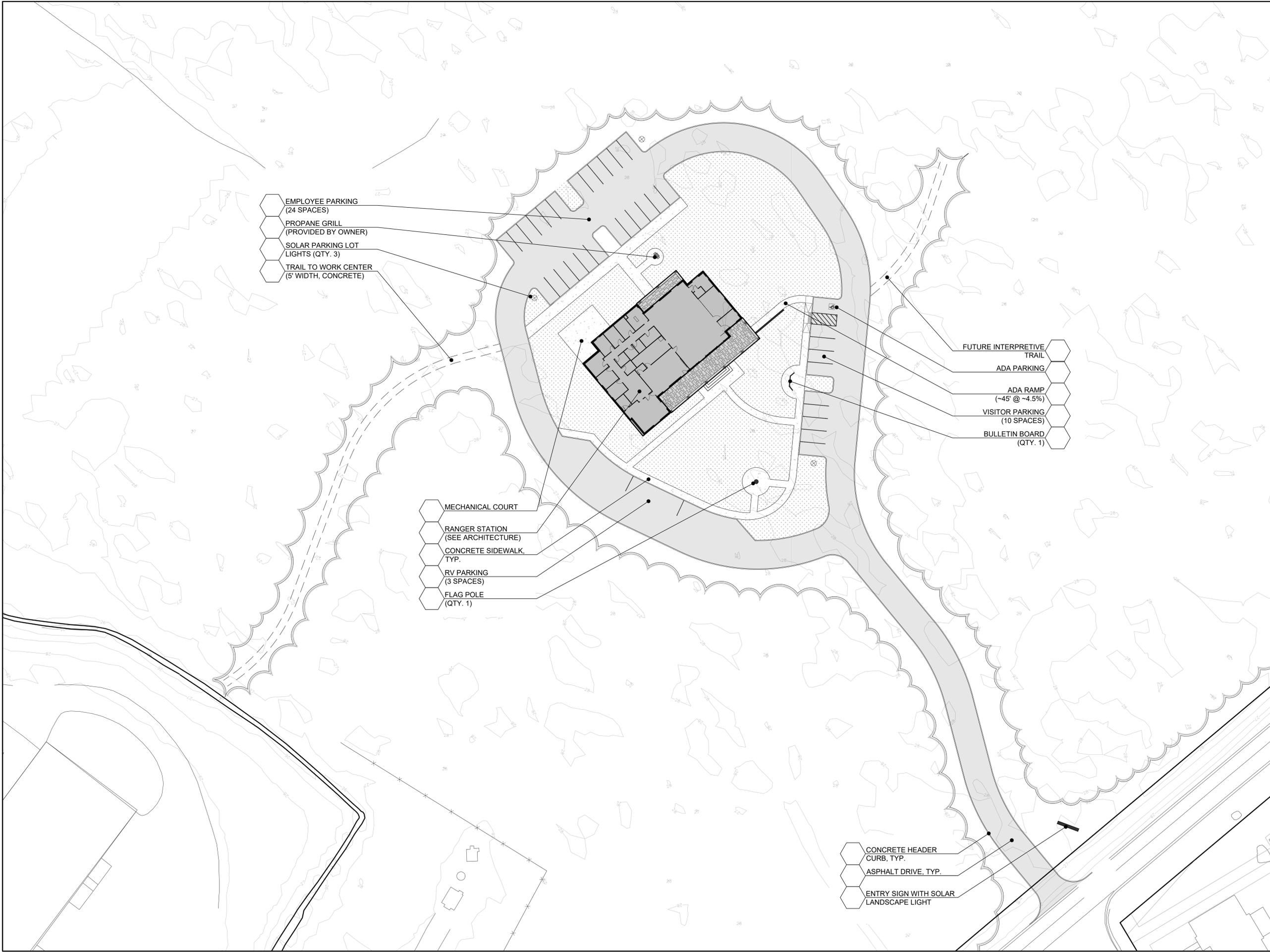
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PROJECT NO. 20027	

- EMPLOYEE PARKING (24 SPACES)
- PROPANE GRILL (PROVIDED BY OWNER)
- SOLAR PARKING LOT LIGHTS (QTY. 3)
- TRAIL TO WORK CENTER (5' WIDTH, CONCRETE)

- FUTURE INTERPRETIVE TRAIL
- ADA PARKING
- ADA RAMP (~45' @ ~4.5%)
- VISITOR PARKING (10 SPACES)
- BULLETIN BOARD (QTY. 1)

- MECHANICAL COURT
- RANGER STATION (SEE ARCHITECTURE)
- CONCRETE SIDEWALK, TYP.
- RV PARKING (3 SPACES)
- FLAG POLE (QTY. 1)

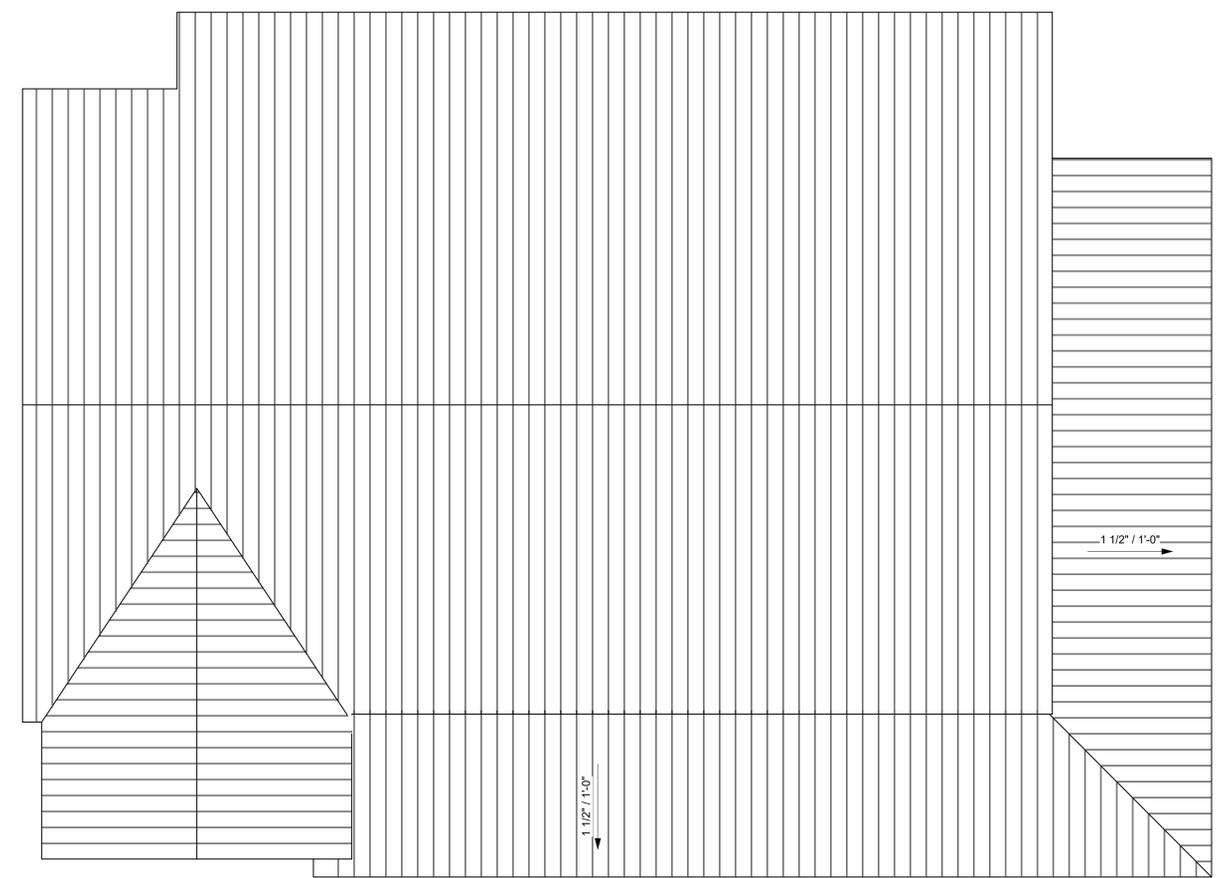
- CONCRETE HEADER CURB, TYP.
- ASPHALT DRIVE, TYP.
- ENTRY SIGN WITH SOLAR LANDSCAPE LIGHT



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① FIRST FLOOR PLAN
 1/8" = 1'-0"



② ROOF PLAN
 1/8" = 1'-0"



R-08

Southern Region



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PROJECT NAME
Croatian Ranger Station

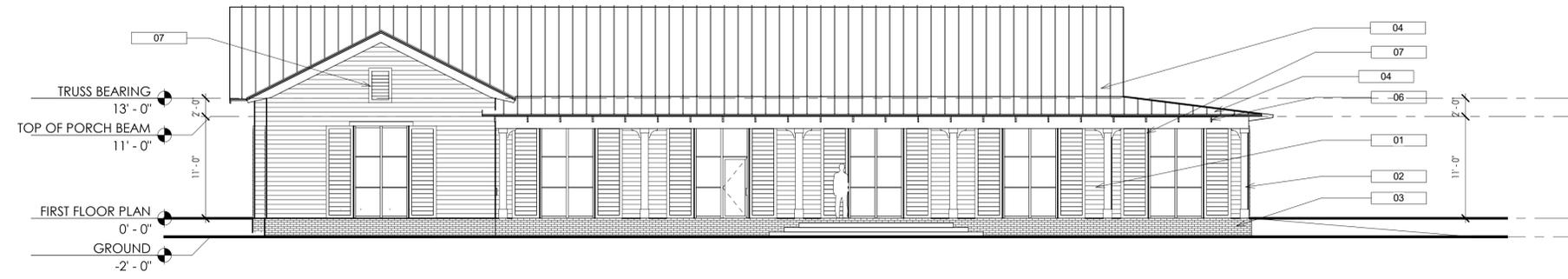
US Forest Service

New Bern, NC
 Issue Date
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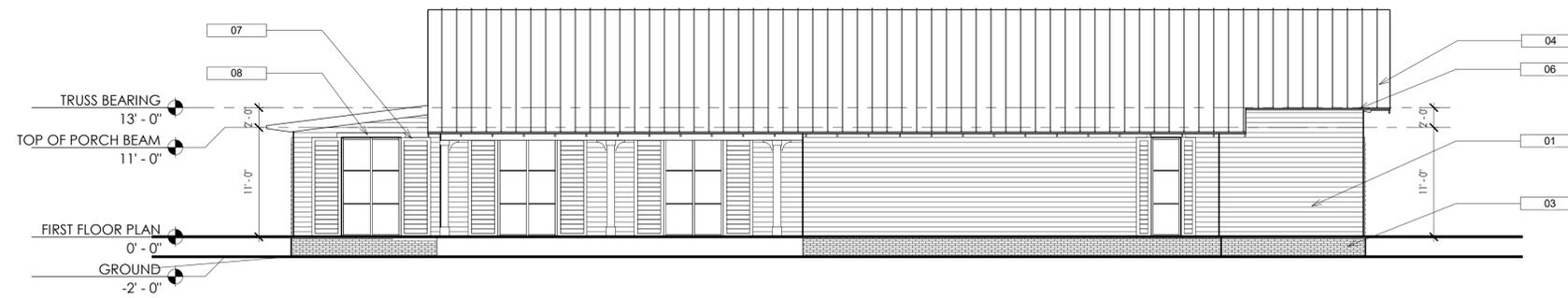
FIRST LEVEL FLOOR PLAN & ROOF PLAN

DATE 07/22/02	ARCHIVE NUMBER
DESIGNER Designer	DRAWING SHEET NO. A1.0
DRAWN Author	
CHECKED Checker	
PROJECT NO. Project Number	

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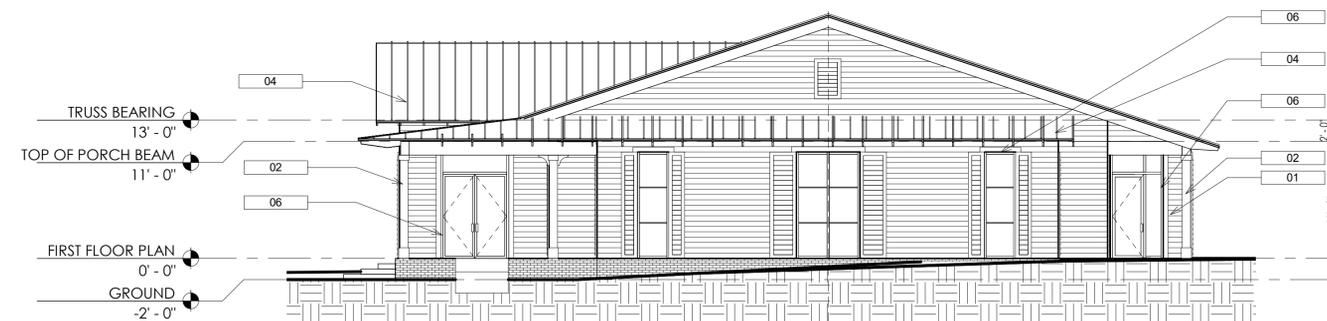
① FRONT ELEVATION
1/8" = 1'-0"



② BACK ELEVATION
1/8" = 1'-0"



③ LEFT ELEVATION
1/8" = 1'-0"



④ RIGHT ELEVATION
1/8" = 1'-0"

Key Value	Keynote Text
01	CEMENT FIBERBOARD SIDING
02	WOOD COLUMNS
03	BRICK WATER TABLE
04	STANDING SEAM METAL ROOF
06	EXPOSED POLYURETHANE RAFTER TAILS
07	COMPOSITE WOOD SHUTTERS
08	COMPOSITE WOOD TRIM



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Southern Region



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PROJECT NAME
Croatian Ranger Station

US Forest Service

New Bern, NC
Issue Date
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BUILDING ELEVATIONS

DATE 07/22/02	ARCHIVE NUMBER
DESIGNER Designer	DRAWING SHEET NO. A3.0
DRAWN Author	
CHECKED Checker	
PROJECT NO. Project Number	

ROOM FINISH SCHEDULE					
ROOM #	ROOM NAME	FLOOR FINISH	BASE	WALL FINISH	CEILING FINISH
1	Reception	LUXURY VINYL TILE (LVT)	VINYL WALL BASE	PAINT	2X2 ACCOUSTIC CEILING TILE, ASTM E1264,
2	Rest.	2" X 2" SLIP RESISTANT TILE MEETING DYNAMIC COEFFICIENT OF FRICTION (DCOF) OF A VALUE OF 0.42 OR LESS FOR WET SURFACES	CERAMIC COVE TILE BASE	PAINT	MOLD RESISTANT GYPSUM CEILING BOARD
3	Office S.	MODULAR CARPET TILE	VINYL WALL BASE	PAINT	2X2 ACCOUSTIC CEILING TILE, ASTM E1264, FORM 2, PATTERN E, FIRE CLASS A.
4	Small M.	MODULAR CARPET TILE	VINYL WALL BASE	PAINT	2X2 ACCOUSTIC CEILING TILE, ASTM E1264, FORM 2, PATTERN E, FIRE CLASS A.
5	Ranger	MODULAR CARPET TILE	VINYL WALL BASE	PAINT	2X2 ACCOUSTIC CEILING TILE, ASTM E1264, FORM 2, PATTERN E, FIRE CLASS A.
6	Rest.	2" X 2" SLIP RESISTANT TILE MEETING DYNAMIC COEFFICIENT OF FRICTION (DCOF) OF A VALUE OF 0.42 OR LESS FOR WET SURFACES	CERAMIC COVE TILE BASE	PAINT	MOLD RESISTANT GYPSUM CEILING BOARD
7	Rest.	2" X 2" SLIP RESISTANT TILE MEETING DYNAMIC COEFFICIENT OF FRICTION (DCOF) OF A VALUE OF 0.42 OR LESS FOR WET SURFACES	CERAMIC COVE TILE BASE	PAINT	MOLD RESISTANT GYPSUM CEILING BOARD
8	Electrical	VINYL COMPOSITE TILE (VCT)	VINYL WALL BASE	PAINT	2X2 ACCOUSTIC CEILING TILE, ASTM E1264,
9	Wellness	MODULAR CARPET TILE	VINYL WALL BASE	PAINT	2X2 ACCOUSTIC CEILING TILE, ASTM E1264, FORM 2, PATTERN E, FIRE CLASS A.
10	Stor.	VINYL COMPOSITE TILE (VCT)	VINYL WALL BASE	PAINT	2X2 ACCOUSTIC CEILING TILE, ASTM E1264,
11	Rest.	2" X 2" SLIP RESISTANT TILE MEETING DYNAMIC COEFFICIENT OF FRICTION (DCOF) OF A VALUE OF 0.42 OR LESS FOR WET SURFACES	CERAMIC COVE TILE BASE	PAINT	MOLD RESISTANT GYPSUM CEILING BOARD
12	Jan.	2" X 2" SLIP RESISTANT TILE MEETING DYNAMIC COEFFICIENT OF FRICTION (DCOF) OF A VALUE OF 0.42 OR LESS FOR WET SURFACES	CERAMIC COVE TILE BASE	PAINT	MOLD RESISTANT GYPSUM CEILING BOARD
13	Lab	LUXURY VINYL TILE (LVT)	VINYL WALL BASE	PAINT	2X2 ACCOUSTIC CEILING TILE, ASTM E1264,
14	Telecom	VINYL COMPOSITE TILE (VCT)	VINYL WALL BASE	PAINT	2X2 ACCOUSTIC CEILING TILE, ASTM E1264,
15	Mud	LUXURY VINYL TILE (LVT)	VINYL WALL BASE	PAINT	2X2 ACCOUSTIC CEILING TILE, ASTM E1264,
16	Hallway	LUXURY VINYL TILE (LVT)	VINYL WALL BASE	PAINT	2X2 ACCOUSTIC CEILING TILE, ASTM E1264,
17	Workstations	LUXURY VINYL TILE (LVT)	VINYL WALL BASE	PAINT	2X2 ACCOUSTIC CEILING TILE, ASTM E1264,
18	Break	LUXURY VINYL TILE (LVT)	VINYL WALL BASE	PAINT	2X2 ACCOUSTIC CEILING TILE, ASTM E1264,
19	Large Meeting	MODULAR CARPET TILE	VINYL WALL BASE	PAINT	2X2 ACCOUSTIC CEILING TILE, ASTM E1264, FORM 2, PATTERN E, FIRE CLASS A.
20	Furn. Stor.	LUXURY VINYL TILE (LVT)	VINYL WALL BASE	PAINT	2X2 ACCOUSTIC CEILING TILE, ASTM E1264,
21	Law	MODULAR CARPET TILE	VINYL WALL BASE	PAINT	2X2 ACCOUSTIC CEILING TILE, ASTM E1264, FORM 2, PATTERN E, FIRE CLASS A.
22	Sec. Sto.	VINYL COMPOSITE TILE (VCT)	VINYL WALL BASE	PAINT	2X2 ACCOUSTIC CEILING TILE, ASTM E1264,
23	Medium M.	MODULAR CARPET TILE	VINYL WALL BASE	PAINT	2X2 ACCOUSTIC CEILING TILE, ASTM E1264, FORM 2, PATTERN E, FIRE CLASS A.
24	Small M.	MODULAR CARPET TILE	VINYL WALL BASE	PAINT	2X2 ACCOUSTIC CEILING TILE, ASTM E1264, FORM 2, PATTERN E, FIRE CLASS A.
36	Stor.	VINYL COMPOSITE TILE (VCT)	VINYL WALL BASE	PAINT	2X2 ACCOUSTIC CEILING TILE, ASTM E1264,



R-08

Southern Region

STAMPS, LOGOS, AND SEALS



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NO.	REVISION/ISSUE	DATE

PROJECT NAME
Croatan Ranger Station

US Forest Service

New Bern, NC
Issue Date
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DRAWING TITLE
SCHEDULES

DATE 09/02/20	ARCHIVE NUMBER
DESIGNER Designer	DRAWING SHEET NO. A6.0
DRAWN Author	
CHECKED Checker	
PROJECT NO. Project Number	

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R-08

Southern Region

STAMPS, LOGOS, AND SEALS



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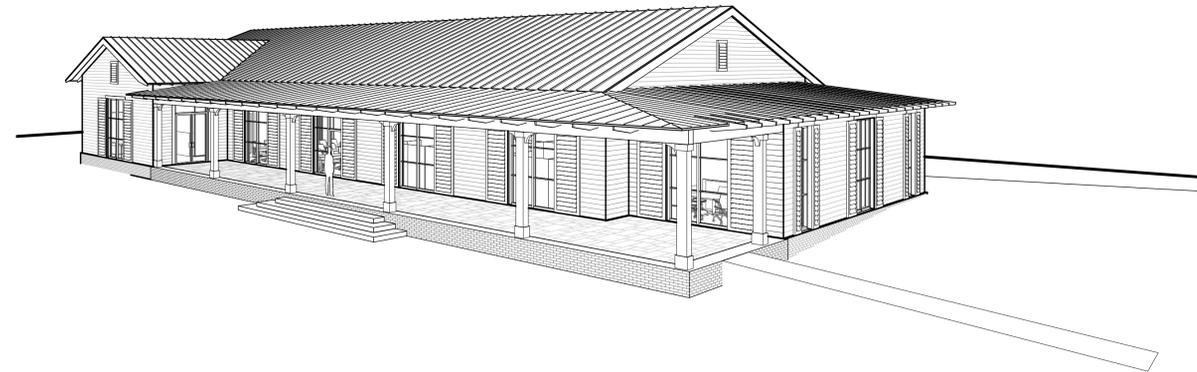
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US Forest Service

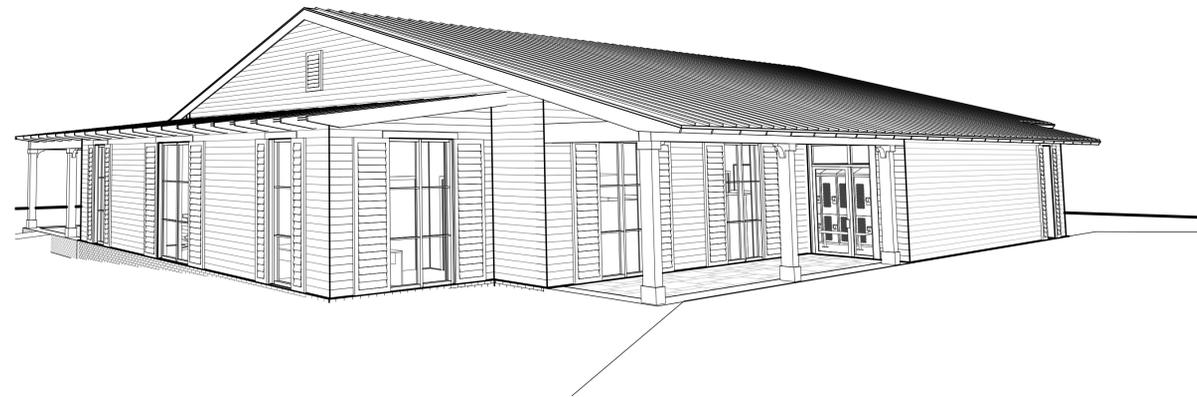
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PERSPECTIVES

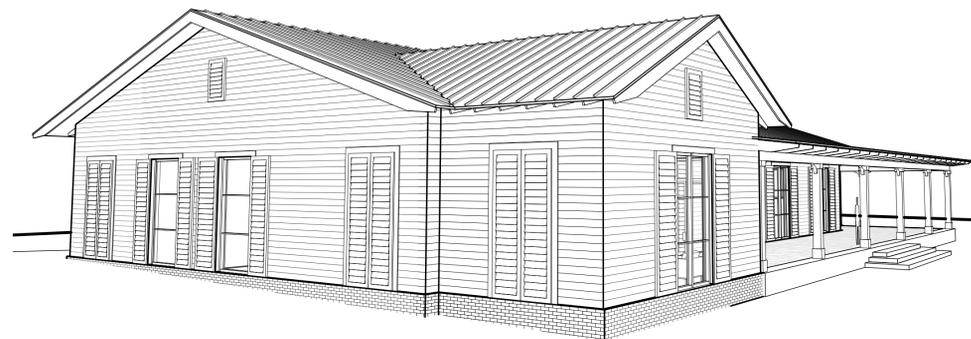
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DESIGNER Designer	DRAWING SHEET NO. A9.0
DRAWN Author	
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PROJECT NO. Project Number	



① FRONT PORCH



② BACK PORCH



③ FRONT PORCH 2