

ATLANTA
GEORGIA

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Grand total: 21		

MARTIN LUTHER KING, JR. NATIONAL HISTORICAL PARK



Mark	Sheet	REVISION	Date	Initial



CONSTRUCTION DOCUMENTS UNITED STATES DEPARTMENT OF THE INTERIOR NATIONAL PARK SERVICE DENVER SERVICE CENTER	TITLE OF PROJECT FIRE PROTECTION SYSTEM DESIGN	DRAWING NO. 489
	LOCATION WITHIN PARK 497 AUBURN AVENUE, ATLANTA, GA NAME OF PARK MARTIN LUTHER KING, JR. NATIONAL HISTORICAL PARK	PMIS/PKG NO. 160151
REGION SOUTHEAST	COUNTY FULTON	STATE GEORGIA
SHEET 1 of 21		

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MASTER KEY: ARCHITECTURAL PROPOSED KEYNOTES
SEE INDIVIDUAL SHEETS FOR APPLICATION

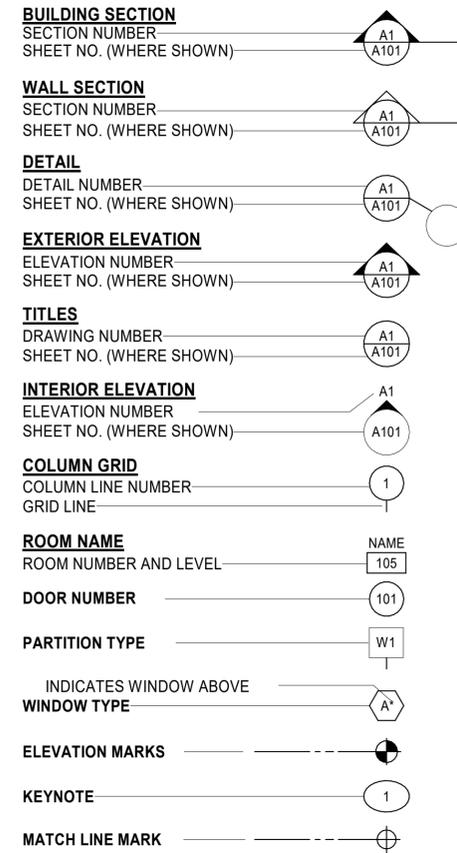
- 1 TEMPORARY TOILET FACILITIES FOR CONSTRUCTION
- 2 CONSTRUCTION STAGING AREA OPTIONS - CONTRACTOR TO COORDINATE WITH CONTRACTING OFFICER FOR USE OF ONE OF THE DESIGNATED AREAS FOR CONSTRUCTION STAGING.
- 3 EXISTING UTILITY
- 4 EXISTING SIDEWALK
- 5 EXISTING TELEPHONE POLE
- 6 EXISTING ELECTRIC METER
- 7 EXISTING GAS METER
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- 9 EXISTING ASPHALT DRIVE
- 10 REMOVAL & REPLACEMENT OF ONE SECTION OF CONCRETE SIDEWALK - REPLACE SIDEWALK FROM EXISTING CONTROL JOINT TO EXISTING CONTROL JOINT - REFER TO CIVIL
- 11 NEW LOCATION OF BACKFLOW PREVENTOR. REF. CIVIL
- 12 EXISTING POWER POLE
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- 14 FDC - REFER TO FX DRAWINGS
- 15 FIRE LINE ENTRANCE - REFER TO FX DRAWINGS
- 16 PROTECT EXPOSED WATER PIPING IN CRAWLSPACE FROM FREEZING - REFER TO FX & ELECTRICAL DRAWINGS
- 17 NEW RISER & CABINET - REFER TO FX DRAWINGS
- 18 NEW RISER - REFER TO FX DRAWINGS
- 19 ATTIC ACCESS W/ FOLDING STAIR
- 20 EXISTING BRICK CHIMNEY. VERIFY LOCATION IN FIELD.
- 21 NEW FIRE RISER PIPING - FROM BELOW
- 22 NEW FIRE SPRINKLER PIPING & SPRINKLER HEADS - REFER TO FX DRAWINGS
- 23 AC UNIT APPROXIMATE LOCATION. VERIFY EXACT LOCATION IN FIELD.
- 24 PROVIDE STRUCTURAL RISER POLE TO SUPPORT F.P. RISER PIPING FROM CEILING JOISTS TO ROOF. CLAMP F.P. PIPING TO RISER POLE
- 25 EXISTING LIGHT FIXTURES (TO REMAIN).
- 26 HOLD TOP OF PIPE TO UNDERSIDE OF JOIST
- 27 ONLY REMOVE CEILING WHERE REQUIRED. INSTALL PIPING WITHOUT REMOVING CEILING (WHERE POSSIBLE). IF CEILING REMOVAL IS REQUIRED PATCH AND REPAIR TO ORIGINAL FINISHED CONDITION AND TO MATCH EXISTING.
- 28 PROTECT EXISTING CEILING. DO NOT REMOVE CEILING TO INSTALL PIPING. CORE NEW HOLES SIZED FOR NEW SPRINKLER HEADS ONLY AS REQUIRED TO INSTALL NEW SPRINKLER HEADS.
- 29 DEMOLISH ALL OR PORTIONS OF EXISTING CEILING AS INDICATED AND AS REQUIRED TO ALLOW FOR INSTALLATION OF NEW FIRE SPRINKLER PIPING. REPLACE WITH NEW GWB CEILING WHERE DEMOLISHED AND FINISH TO MATCH EXISTING CEILING (LEVEL 4 FINISH - MINIMUM)
- 30 OPEN TO STRUCTURE
- 31 APPROXIMATE LOCATION OF NEW FDC - INCLUDE SIGNAGE AS REQUIRED BY AHJ
- 32 APPROXIMATE LOCATION OF NEW FIRE LINE
- 33 EXISTING CONDUIT & PVC PIPING TO REMAIN - PROTECT DURING INSTALLATION OF NEW FDC & FIRE LINE
- 34 EXISTING CRAWLSPACE ACCESS
- 35 NEW DRY TYPE FIRE PROTECTION PIPING SYSTEM - REFER TO FX DRAWINGS
- 36 THIS PORTION OF SIDEWALK TO BE REMOVED/REPLACED. PROTECT ADJACENT CONCRETE SIDEWALKS.
- 37 CONTRACTOR SHALL REMOVE ARCHITECTURAL ASPHALT SHINGLE ROOFING AND ROOF DECKING AS REQUIRED TO INSTALL NEW FIRE PROTECTION PIPING INTO CEILING OF PORCH (FROM ABOVE). AT MINIMUM, CONTRACTOR SHALL REPLACE ALL ARCHITECTURAL SHINGLES FROM HIP RIDGE TO HIP RIDGE WITH NEW SHINGLES TO MATCH EXISTING. ALL FLASHING AND ROOFING MUST BE INSTALLED BY A QUALIFIED ROOFING CONTRACTOR AND COLOR MATCHING WILL BE TO THE SATISFACTION OF THE CONTRACTING OFFICER.

GENERAL NOTES:

1. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SUPERVISION AND COORDINATION OF ALL CONSTRUCTION PROCEDURES.
2. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE APPLICABLE CODES AND ORDINANCES IN EFFECT AT THE TIME OF CONSTRUCTION. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL GOVERN AND BE MET.
3. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR AND THE CONTRACTING OFFICER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
4. COORDINATE LOCATIONS AND/OR ELEVATIONS OF FLOOR DRAINS, REGISTERS, GRILLES, LOUVERS, DUCTS, UNIT HEATERS, PANELS, ETC. WITH MECHANICAL AND ELECTRICAL CONTRACTORS AND ARCHITECTURAL DRAWINGS.
5. WHERE A DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL APPLY TO ALL LIKE OR SIMILAR CONDITIONS, EVEN THOUGH NOT SPECIFICALLY MARKED ON THE DRAWINGS.
6. CONTRACTOR SHALL ENSURE THAT CONSTRUCTION ENVIRONMENT IS MAINTAINED IN SUCH A WAY TO INHIBIT MOLD AND MILDEW GROWTH.
7. PROVIDE FINISHED SURFACE UNDER AND BEHIND ALL EXISTING EQUIPMENT AND CASEWORK.
8. CONTRACTOR SHALL REMOVE PROMPTLY AND LEGALLY ALL ACCUMULATED DEBRIS. PROTECT ALL EXPOSED PORTIONS OF WORK FROM ELEMENTS, AVOID OVERLOADING STRUCTURE, AND SECURELY STORE ALL ITEMS TO BE USED FOR CONSTRUCTION.
9. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
10. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION.
11. ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED OR CAPPED, AS REQUIRED BY CODE OR SOUND CONSTRUCTION PRACTICE.
12. NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE CONTRACTING OFFICER.
13. WHERE LACK OF INFORMATION, OR ANY DISCREPANCY SHOULD APPEAR IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE CONTRACTING OFFICER BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
14. PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING AND WALL MOUNTED EQUIPMENT, HARDWARE AND ACCESSORIES.
15. WHEN A SYSTEM OR ASSEMBLY IS SPECIFIED, ALL NECESSARY PARTS AND MATERIALS REQUIRED FOR A COMPLETE INSTALLATION/SYSTEM SHALL BE INSTALLED ACCORDING TO THE MANUFACTURERS INSTRUCTIONS.
16. UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC., SHALL BE RUN CONCEALED AND FRAMING SHALL BE ADEQUATE SIZE TO ACCOMPLISH RESULT WITHOUT CAUSING ANY CHANGES IN THE WALL PLANE.
17. COORDINATE WITH ALL TRADES THE LOCATIONS OF SLEEVES OR OTHER PRESET ACCESSORIES INVOLVING OTHER TRADES.
18. THESE PLANS SHOULD BE STUDIED AND USED IN THEIR ENTIRETY AS INFORMATION VITAL TO EACH STAGE OF CONSTRUCTION.
19. GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR COMPLETION OF ALL WORK SHOWN OR REASONABLY IMPLIED BY THESE DRAWINGS AND/OR SPECIFICATIONS.

20. DETAILS TAKE PRECEDENCE OVER PLANS & ELEVATIONS - LARGER SCALE DRWGS TAKE PRECEDENCE OVER SMALLER SCALE DRWGS.
21. THESE HOMES ARE ON THE NATIONAL REGISTER AND THEREFORE CARE MUST BE TAKEN TO PRESERVE, PROTECT, AND MAINTAIN INTEGRITY OF HISTORICAL QUALITIES.
22. MANUFACTURERS AND MODELS REFLECTED ON DRAWINGS ARE DESIGN BASIS ONLY UNLESS SPECIFICALLY NOTED AS "SOLE SOURCE". FOR ITEMS NOT LABELED AS "SOLE SOURCE", EQUIVALENT PRODUCT SUBSTITUTIONS ARE PERMITTED PROVIDED THEY OFFER THE SAME OR BETTER PERFORMANCE AND ARE APPROVED BY THE CONTRACTING OFFICER THROUGH FORMAL SUBMITTAL PROCESS.
23. CONTRACTOR SHALL PROTECT ALL MATERIALS ON THE JOBSITE FROM THE ELEMENTS AND ENSURE MATERIALS DON'T DEVELOP MOLD THROUGHOUT THE PROJECT.
24. THE CONTRACTOR SHALL FURNISH COPIES OF PERMITS, INSPECTIONS, AND CERTIFICATES TO CONTRACTING OFFICER AS REQUESTED ALONG WITH FIRST APPLICATION FOR PAYMENT.
25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS PRIOR TO THE COMMENCEMENT OF ANY WORK.
26. THE CONTRACTOR SHALL PROVIDE ALL CERTIFICATES OF OCCUPANCY, PERMITS AND CLOSE OUT DOCUMENTS TO CONTRACTING OFFICER UPON COMPLETION OF PROJECT.
27. ANY ITEMS NOT BEING DEMOLISHED ARE TO BE PROTECTED DURING CONSTRUCTION. IF DAMAGED OR DESTROYED, REPLACE OR REPAIR DAMAGED OR DESTROYED ITEMS WITH APPROVED ITEMS AT NO EXPENSE TO THE NATIONAL PARK SERVICE.
28. THE DESIGN OF THIS PROJECT IS BASED UPON INFORMATION PROVIDED BY NATIONAL PARK SERVICE THROUGH EXISTING DRAWINGS AND ON-SITE OBSERVATION. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING WORK. IF EXISTING CONDITIONS ARE NOT AS DEPICTED OR ANTICIPATED, NOTIFY THE CONTRACTING OFFICER IMMEDIATELY UPON DISCOVERY AND DO NOT PROCEED WITHOUT APPROVAL. IF CONTRACTOR PROCEEDS WITHOUT APPROVAL, THE CONTRACTOR ACCEPTS FULL LIABILITY FOR THAT PORTION OF CONSTRUCTION.
29. THE INTERIOR WALL AND CEILING FINISHES ARE BELIEVED TO BE 5/8" THICK GYPSUM WALL BOARD, PER THE HISTORIC STRUCTURE REPORT, DATED 2018 (AND AS PROVIDED BY NPS DURING THE COLLECTION OF "EXISTING CONDITIONS DATA"). ALL PATCHES AND REPAIRS TO THE GYPSUM SHOULD BE TO MATCH EXISTING. IF CONTRACTOR DISCOVERS THAT ANY SECTION, OR SECTIONS, OF THE EXISTING WALL, OR CEILING FINISHES ARE CEMENTITIOUS PLASTER, RATHER THAN GYPSUM WALLBOARD, THEN CONTRACTOR SHALL IMMEDIATELY NOTIFY CONTRACTING OFFICER AND AWAIT FURTHER DIRECTION FOR APPROPRIATE REPAIR.

LEGENDS & SYMBOLS:



DEFINITIONS:

- A. "ALIGN" MEANS (I.E.) WHERE A NEW PARTITION IS TO BE BUILT TO ALIGN WITH ONE SIDE OF THE COLUMN, STUDS SHALL ALIGN WITH THE COLUMN OR EXISTING PARTITION SO THAT THE GYPSUM WALL BOARD WILL BE CONTINUOUS ACROSS STUDS AND FINISHED FACE OF COLUMN OR EXISTING PARTITION, AND JOINT SHALL BE SMOOTH AND UNDETECTABLE
- B. DIMENSIONS NOTED AS "CLEAR" SHALL BE FROM FINISHED FACE TO FINISHED FACE
- C. "TYPICAL" MEANS TYPICAL FOR ALL SIMILAR CONDITIONS, UNO
- D. WHEREVER THE TERM "OR EQUAL" IS USED, IT SHALL MEAN EQUAL OR BETTER PRODUCT AS APPROVED BY THE CONTRACTING OFFICER.

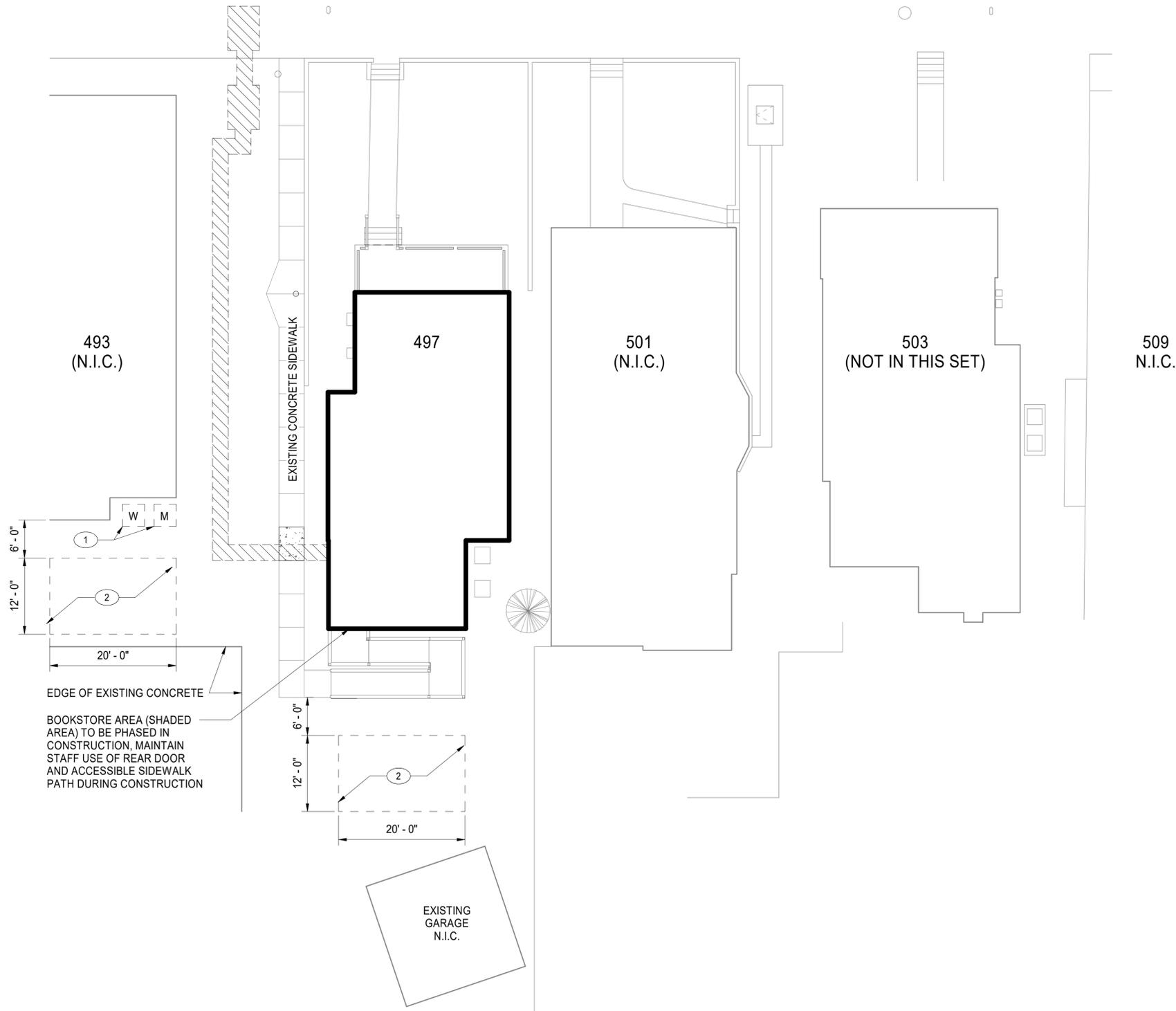
ABBREVIATIONS:

@	AT	INSUL	INSULATION
AVG	AVERAGE	INT	INTERIOR
AUTO	AUTOMATIC	ID	INSIDE DIAMETER
ARCH	ARCHITECT (URAL)	JAN	JANITOR
ANOD	ANODIZED	LBL	LABEL
ALUM	ALUMINUM	LAV	LAVATORY
ALT	ALTERNATE	L	LONG
A/C	AIR CONDITIONING	LLH	LONG LEG HORIZONTAL
ADMIN	ADMINISTRATION	LLV	LONG LEG VERTICAL
ABV	ABOVE	LVT	LUXURY VINYL TILE
AG	AMERICANS W/ DISABILITIES	MAX	MAXIMUM
ADJ	ADJUSTABLE	NIC	NOT IN CONTRACT
AFF	ABOVE FINISH FLOOR	MAINT	MAINTENANCE
ACT	ACOUSTICAL TILE	MAT	MATERIAL
BM	BEAM	MCG	METAL CORNER GUARD
BRG	BEARING	MECH	MECHANICAL
BOT	BOTTOM	MEZZ	MEZZANINE
BLDG	BUILDING	MFR	MANUFACTURER
CAB	CABINET	MISC	MISCELLANEOUS
CARP	CARPET	MO	MASONRY OPENING
CJ	CONTROL JOINT	MTD	MOUNTED
CLG	CEILING	MTL	METAL
CL	CENTER LINE	MIN	MINIMUM
CLR	CLEAR	N/A	NOT APPLICABLE
CMU	CONCRETE MASONRY UNIT	NIC	NOT IN CONTRACT
CNTR	COUNTER	NTS	NOT TO SCALE
CO	CONTRACTING OFFICER	OC	ON CENTER
COL	COLUMN	OD	OUTSIDE DIAMETER
CONST	CONSTRUCTION	OPP	OPPOSITE
CONC	CONCRETE	OS	OVERFLOW SCUPPER
CONT	CONTINUOUS	PREFAB	PREFABRICATED
COR	CONTRACTING OFFICER	PL	PLATE
	REPRESENTATIVE	PLBG	PLUMBING
CW	COMPOSITE WOOD	PLYWD	PLYWOOD
DEM	DEMOLISH, DEMOLITION	PNL	PANEL
DN	DOWN	PT	PRESSURE TREATED
DBL	DOUBLE	QTY	QUANTITY
DIFF	DIFFUSER	REINF	REINFORCE (D) (ING)
DIA	DIAMETER	R, RAD	RADIUS
DIM	DIMENSION	RCP	REFLECTED CEILING
DTL	DETAIL		PLAN
DWG	DRAWING	RD	ROOF DRAIN
DRWG		REQD	REQUIRED
DRWGS		REV	REVISION
EA	EACH	RM	ROOM
ENCL	ENCLOSE (URE)	RO	ROUGH OPENING
ELEC	ELECTRICAL	RTU	ROOF TOP UNIT
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	SHT	SHEET
	ELECTRICAL PANEL	SPK	SPEAKER
EP	ELEVATION	SIM	SIMILAR
EL, ELEV	EQUAL	SPEC	SPECIFICATION
EQ	EQUIPMENT	SQ	SQUARE
EQUIP	ELECTRICAL WATER COOLER	SS	STAINLESS STEEL
EWC	EXISTING	STD	STANDARD
EXT	EXPANSION JOINT	STRUCT	STRUCTURAL
EXIST	FIELD DETERMINE	ST	STEEL TUBE
EXP J	FINISHED FLOOR ELEVATION	STL	STEEL
FD	FINISHED FLOOR LINE	STO	STORAGE
FFE	FIRE EXTINGUISHER	SUSP	SUSPENDED
FFL	FIBER REINFORCED PANEL	TEMP	TEMPERED
FE	FOOT/FEET	TE	TOP ELEVATION
FRP	FIRE RETARDANT TREATED FLUORESCENT	TEL	TELEPHONE
FT	FOOTING	TV	TELEVISION
FRT	GENERAL	THK	THICK
FLUOR	GAUGE </td <td>TBD</td> <td>TO BE DETERMINED</td>	TBD	TO BE DETERMINED
FTG	GALVANIZED	T & G	TONGUE & GROOVE
GEN	GENERAL CONTRACTOR	TOB	TOP OF BEAM
GA	GYPSUM WALL BOARD	TOS	TOP OF STEEL
GALV	HARDWARE	TOW	TOP OF WALL
GC	HEATING, VENTILATION & AIR CONDITIONING	TYP	TYPICAL
GWB	HANDICAP	UNFIN	UNFINISHED
HDWR	HANDICAP COUPON BOOTH	UNO	UNLESS NOTED OTHERWISE
HVAC	HEIGHT	VAR	VARIABLE
	HIGH	VERT	VERTICAL
HC	HOLLOW METAL	VIF	VERIFY IN FIELD
HCB		VCT	VINYL COMPOSITION TILE
HGT			
H			
HM			
HORIZ			



A/E FIRM CROFT & ASSOCIATES KENNESAW, GEORGIA	DESIGNED: A.LAMB S.AMOS TECH REVIEW: A.LAMB DATE: 01/26/2022	SUB SHEET NO. G101	LOCATION WITHIN PARK 497 AUBURN AVENUE, ATLANTA, GA TITLE OF SHEET GENERAL INFORMATION MARTIN LUTHER KING, JR. NATIONAL HISTORICAL PARK	DRAWING NO. 489 177713 PMIS/PKG NO. 160151 SHEET 2 OF 21
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AUBURN AVE



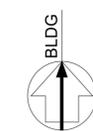
GENERAL STAGING AND PHASING PLAN NOTES:

- A. THIS PHASING PLAN IS PROVIDED TO ESTABLISH GUIDELINES FOR WORK SEQUENCING AND BUILDING AREA DOWNTIME. THE CONTRACTOR IS RESPONSIBLE FOR DEVELOPING A WORK SCHEDULE THAT CONTEMPLATES MAINTAINING OPERATIONS IN THE BOOKSTORE AREA AS MUCH AS POSSIBLE DURING CONSTRUCTION. THE OVERALL GOAL IS TO MINIMIZE DOWNTIME OF THE BOOKSTORE SPACES WHICH OCCUPY THE 1ST FLOOR OF THE BUILDING (497 AUBURN AVENUE) HIGHLIGHTED ON THIS PLAN.
- B. THE CONTRACTOR SHALL CLEARLY COMMUNICATE THEIR PLAN INCLUDING SEQUENCING, OVERALL SCHEDULE, AND DURATION OF WORK IN THE BOOKSTORE AREA WITH REGARDS TO THIS WORK PLAN. DEPENDING ON PARK NEEDS, THIS WORK MAY NEED TO BE SCHEDULED EARLIER OR LATER IN THE OVERALL CONSTRUCTION WORK PLAN. ADDITIONALLY, THE CONTRACTOR SHALL DESIGNATE A PARKING AREA FOR BOOKSTORE STAFF AND A PATH TO THE EXTERIOR DOOR ON THE REAR OF THE BUILDING. THESE PLAN ELEMENTS MUST BE ARTICULATED IN THE PROJECT SCHEDULE SUBMITTAL OUTLINED IN SPEC SECTION 013216. NO WORK MAY PROCEED UNTIL THE CONTRACTING OFFICER'S REPRESENTATIVE APPROVES THIS PLAN AND SUBMITTAL.
- C. DURING CONSTRUCTION, UTILITY SERVICES INCLUDING POWER, TELECOM, FIBER, WATER, SANITARY AND NATURAL GAS MUST REMAIN ONLINE AS MUCH AS POSSIBLE TO SUPPORT BOOKSTORE FUNCTIONS. IF OUTAGES ARE REQUIRED, THIS MUST BE CLEARLY COMMUNICATED WITH AT LEAST 72 HOURS OF NOTICE TO THE CONTRACTING OFFICER'S REPRESENTATIVE.
- E. RESTROOM FOR THE BOOKSTORE MUST BE OPERATIONAL WHILE BOOKSTORE STAFF IS WORKING IN THE BUILDING.
- F. EXISTING EXTERIOR AND INTERIOR SECURITY CAMERAS TO BE PROTECTED AND TO REMAIN OPERATIONAL THROUGHOUT CONSTRUCTION. IF OUTAGES ARE REQUIRED, THIS MUST BE CLEARLY COMMUNICATED WITH AT LEAST 72 HOURS OF NOTICE TO THE CONTRACTING OFFICER'S REPRESENTATIVE.
- G. CONTRACTOR PARKING TO BE OFF-SITE. COORDINATE WITH NPS CONTRACTING OFFICER FOR AVAILABLE PARKING LOCATIONS.

STAGING PLAN KEYNOTES

- 1 TEMPORARY TOILET FACILITIES FOR CONSTRUCTION
- 2 CONSTRUCTION STAGING AREA OPTIONS - CONTRACTOR TO COORDINATE WITH CONTRACTING OFFICER FOR USE OF ONE OF THE DESIGNATED AREAS FOR CONSTRUCTION STAGING.

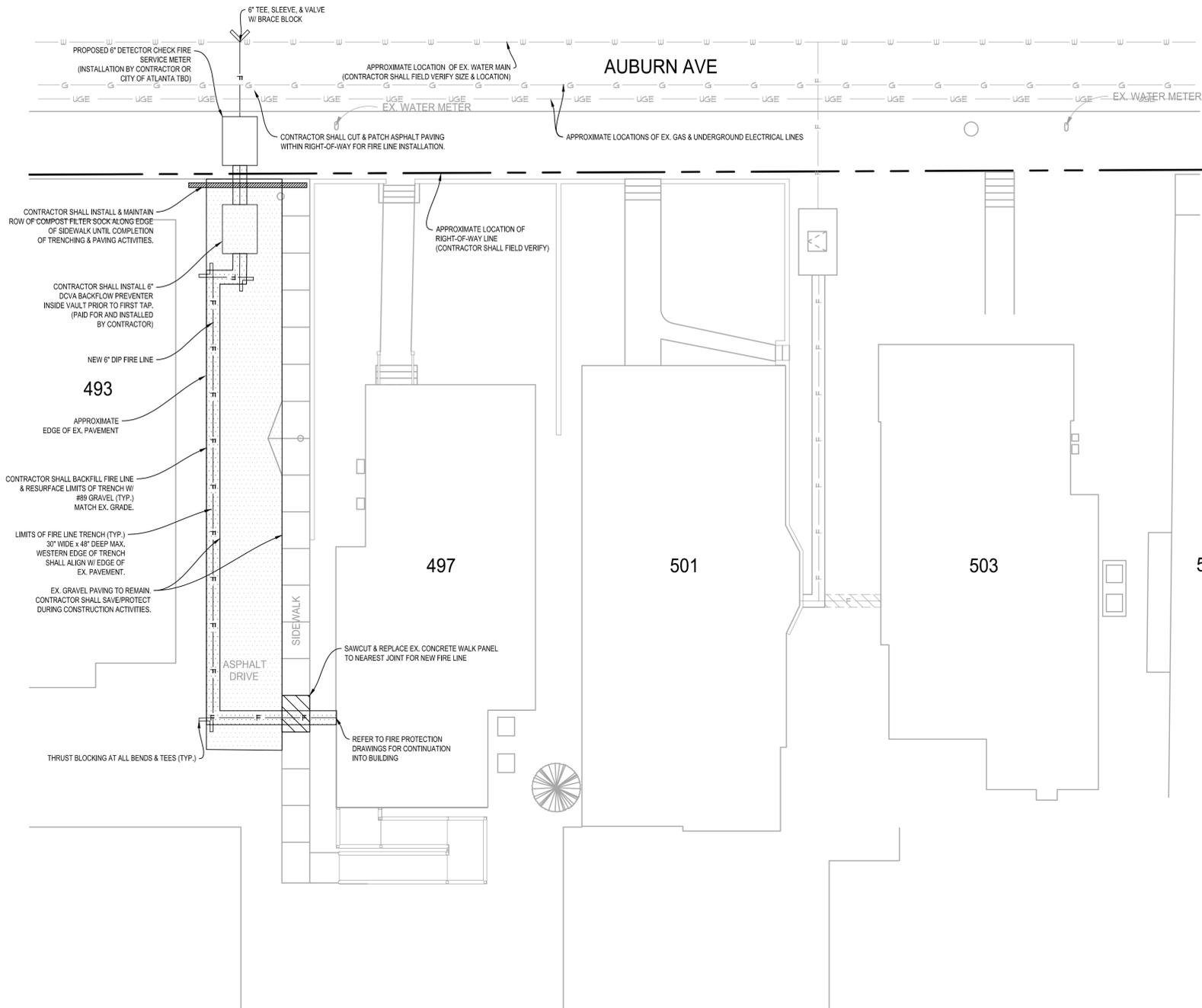
EDGE OF EXISTING CONCRETE
 BOOKSTORE AREA (SHADED AREA) TO BE PHASED IN CONSTRUCTION. MAINTAIN STAFF USE OF REAR DOOR AND ACCESSIBLE SIDEWALK PATH DURING CONSTRUCTION



A/E FIRM CROFT & ASSOCIATES KENNESAW, GEORGIA	DESIGNED: A.LAMB	SUB SHEET NO. G102	LOCATION WITHIN PARK 497 AUBURN AVENUE, ATLANTA, GA	DRAWING NO. 489
	TECH REVIEW: A.LAMB		TITLE OF SHEET SITE LOGISTICS AND PHASING PLAN	PMIS/PKG NO. 160151
	DATE: 00/20/2022		MARTIN LUTHER KING, JR. NATIONAL HISTORICAL PARK	SHEET 3 OF 21

1 SITE LOGISTICS AND PHASING PLAN
G102

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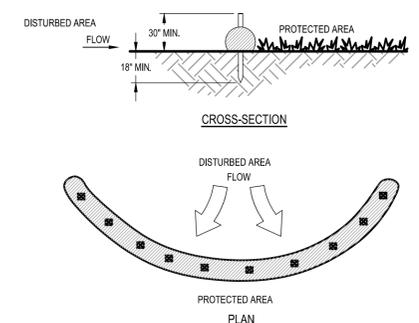


PIPE SIZE	11.5° BEND		22.5° BEND		45° BEND		90° BEND		PLUG, TEE OR TAP SLEEVE	VERTICAL BEND			
	11.5° & 22.5° BEND									A		B	
	6"	12"	8"	16"	12"	16"	16"	22"		24"	24"	24"	18"
	10"	16"	18"	28"	18"	28"	30"	30"	30"	30"	30"	24"	
	12"	24"	24"	24"	36"	36"	48"	48"	48"	48"	48"	36"	

3 THRUST BLOCKING
NOT TO SCALE

MAINTENANCE:
SEDIMENT SHALL BE REMOVED WHEN IT HAS ACCUMULATED TO 1/2 THE ORIGINAL HEIGHT OF THE BARRIER. SEDIMENT BARRIERS SHALL BE REPLACED WHENEVER THEY HAVE DETERIORATED TO SUCH AN EXTENT THAT THE EFFECTIVENESS OF THE PRODUCT IS REDUCED (APPROXIMATELY SIX MONTHS) OR THE HEIGHT OF THE PRODUCT IS NOT MAINTAINING 80% OF ITS PROPERLY INSTALLED HEIGHT. TEMPORARY SEDIMENT BARRIERS SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. ALL SEDIMENT ACCUMULATED AT THE BARRIER SHALL BE REMOVED AND PROPERLY DISPOSED OF BEFORE THE BARRIER IS REMOVED.

NOTES:
1. SEDIMENT BARRIER SHALL BE IN EFFECT PRIOR TO ANY GRADING OF CONSTRUCTION.



4 NON-SENSITIVE SEDIMENT BARRIER COMPOST FILTER SOCK
NOT TO SCALE



NOTE
CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF ATLANTA FOR NEW FIRE LINE TAPMETERS AND FOR ALL WORK WITHIN CITY RIGHT-OF-WAY.

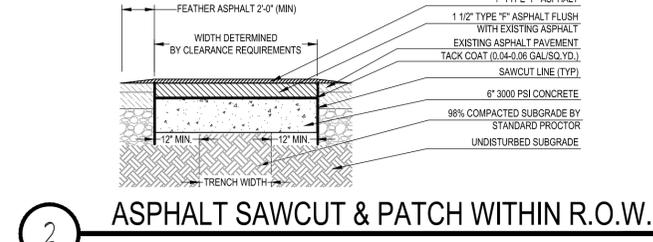
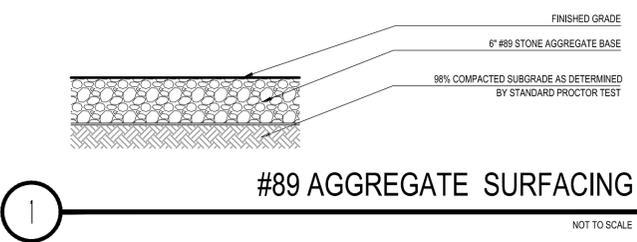
DO NOT BREAK OR DUPLICATE

- DO NOT DUPLICATE DRAWINGS WITHOUT PERMISSION.
- READ THE SPECIFICATIONS. THIS SET OF DRAWINGS AND SPECIFICATIONS DEFINE PROJECT SCOPE AND CONTRACT REQUIREMENTS. INDIVIDUAL SHEETS SEPARATED FROM THE SET MAY NOT ADEQUATELY REFLECT ALL INFORMATION NEEDED TO SUITABLY COVER CERTAIN ITEMS. DO NOT SEPARATE THIS SET OF DRAWINGS INTO INDIVIDUAL SHEETS.

CALL BEFORE YOU DIG

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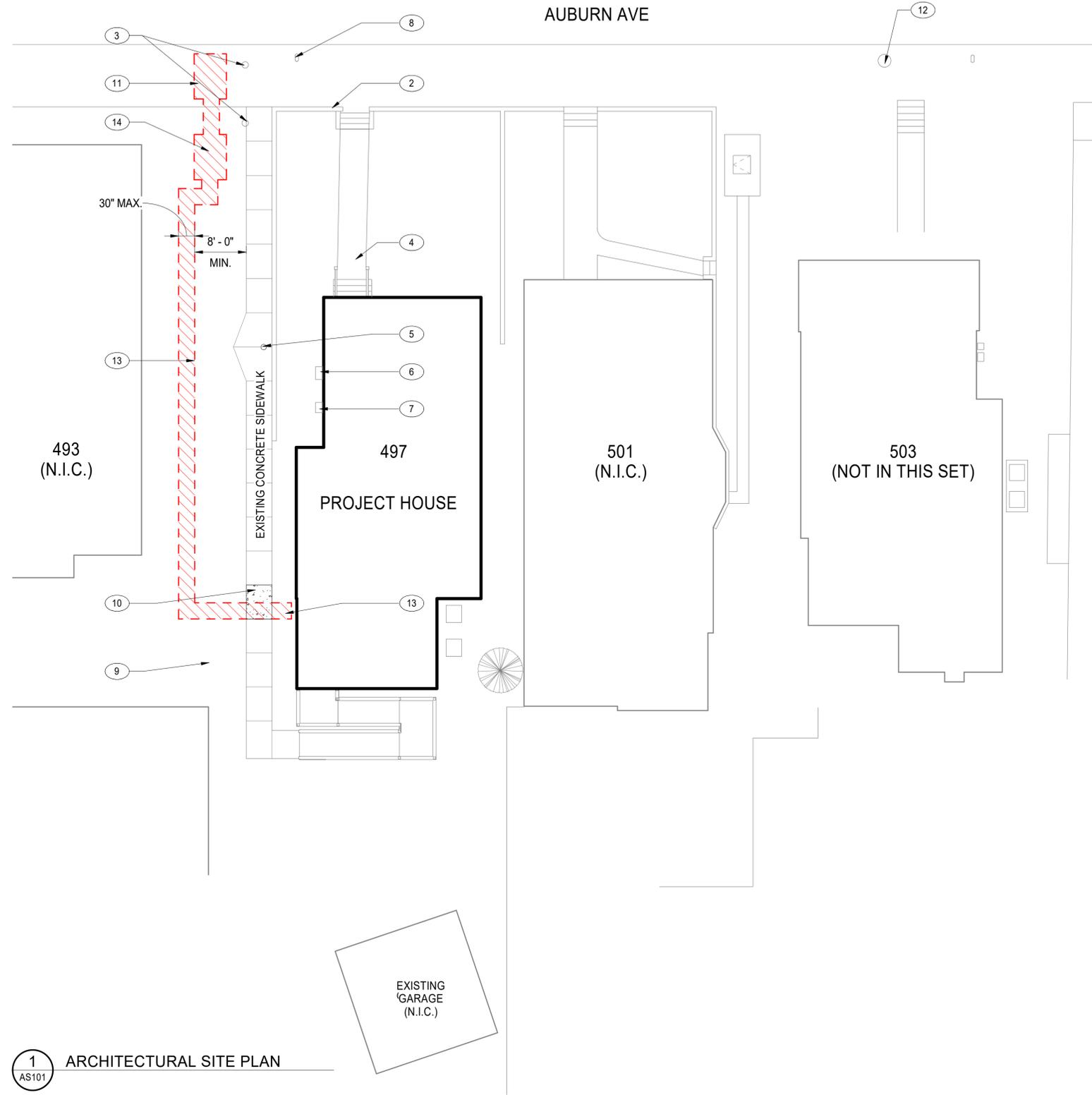
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A/E FIRM CROFT & ASSOCIATES KENNESAW, GEORGIA	DESIGNED: C. MOORE	SUB SHEET NO. C101	LOCATION WITHIN PARK 497 AUBURN AVENUE, ATLANTA, GA TITLE OF SHEET SITE UTILITY PLAN MARTIN LUTHER KING, JR. NATIONAL HISTORICAL PARK	DRAWING NO. 489 177713
	TECH REVIEW: G. CARAWAY			PMIS/PKG NO. 160151
	DATE: 01/26/2022			SHEET 4 OF 21



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GENERAL SITE NOTES:

- A. SITE PLAN IS PROVIDED FOR CONTEXT ONLY. REFER TO CIVIL FOR ADDITIONAL INFORMATION.
- B. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS. DAMAGE SHALL BE RESTORED TO MATCH EXISTING APPEARANCE. COORDINATE WITH CONTRACTING OFFICER FOR ANY PROPOSED CHANGES TO EXISTING CONDITIONS BEFORE BEGINNING NEW WORK.
- C. CONTRACTOR IS RESPONSIBLE FOR REPAIRING DAMAGE TO EXISTING LANDSCAPING ONCE PROJECT IS COMPLETE. COORDINATE WITH PARK TO IDENTIFY LANDSCAPE CONDITIONS TO BE RESTORED.

SITE PLAN KEYNOTES

- 2 CONSTRUCTION STAGING AREA OPTIONS - CONTRACTOR TO COORDINATE WITH CONTRACTING OFFICER FOR USE OF ONE OF THE DESIGNATED AREAS FOR CONSTRUCTION STAGING.
- 3 EXISTING UTILITY
- 4 EXISTING SIDEWALK
- 5 EXISTING TELEPHONE POLE
- 6 EXISTING ELECTRIC METER
- 7 EXISTING GAS METER
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- 9 EXISTING ASPHALT DRIVE
- 10 REMOVAL & REPLACEMENT OF ONE SECTION OF CONCRETE SIDEWALK - REPLACE SIDEWALK FROM EXISTING CONTROL JOINT TO EXISTING CONTROL JOINT - REFER TO CIVIL
- 11 NEW LOCATION OF BACKFLOW PREVENTOR. REF. CIVIL
- 12 EXISTING POWER POLE
- 13 EXISTING SMOKE DETECTOR
- 14 FDC - REFER TO FX DRAWINGS

SITE PLAN LEGEND:

DEMO

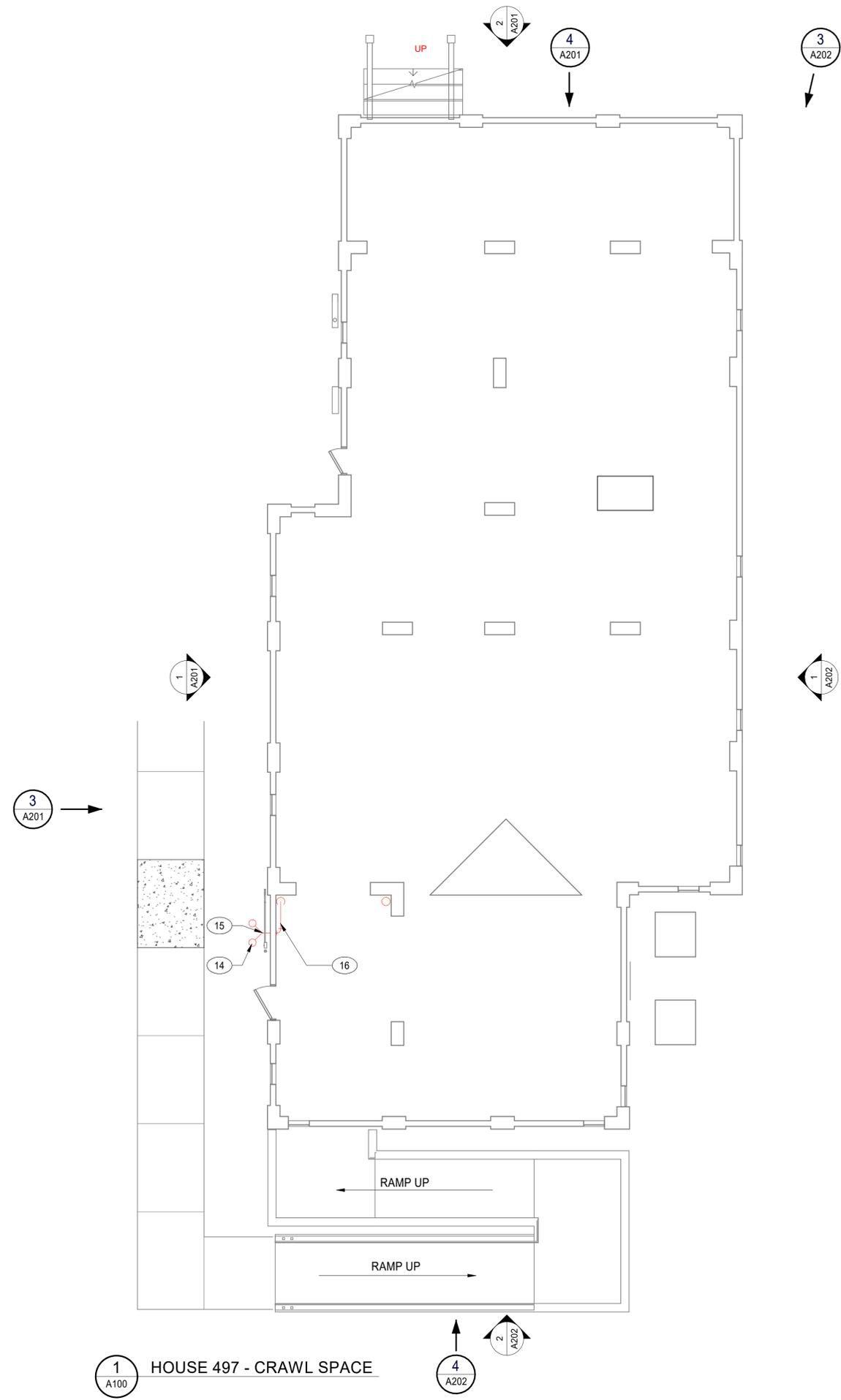
1 ARCHITECTURAL SITE PLAN
AS101



A/E FIRM CROFT & ASSOCIATES KENNESAW, GEORGIA	DESIGNED: A.LAMB S.AMOS	SUB SHEET NO. AS101	LOCATION WITHIN PARK 497 AUBURN AVENUE, ATLANTA, GA TITLE OF SHEET ARCHITECTURAL SITE PLAN	DRAWING NO. 489 177713
	TECH REVIEW: A.LAMB DATE: 01/26/2022	MARTIN LUTHER KING, JR. NATIONAL HISTORICAL PARK	PMIS/PKG NO. 160151 SHEET 5 OF 21	

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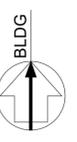


GENERAL FLOOR PLAN NOTES:

- A. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY.
- B. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AND NOTIFY THE CONTRACTING OFFICER IMMEDIATELY OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- C. NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE CONTRACTING OFFICER.
- D. REQUEST WRITTEN INTERPRETATION FROM THE CONTRACTING OFFICER FOR ANY LACK OF OR AMBIGUITY OF INFORMATION IN THE DRAWINGS PRIOR TO PROCEEDING WITH THAT PORTION OF THE WORK.
- E. REFRAME EXISTING WALLS AND/OR ADD WOOD BLOCKING AS REQUIRED FOR NEW THRU-WALL PENETRATIONS FOR PIPING AND/OR EQUIPMENT.
- F. FIRE SPRINKLER PIPING IN NON-TEMPERATURE-CONTROLLED AREAS WHERE NOT EXPOSED TO VIEW SHALL BE PRIMED AND PAINTED RED WITH EPOXY ENAMEL PAINT FINISH (IE . . . ATTIC, CRAWLSPACE).
- G. FIRE SPRINKLER PIPING IN NON-TEMPERATURE-CONTROLLED AREAS WHERE NOT EXPOSED TO VIEW SHALL BE PRIMED AND PAINTED WITH EPOXY ENAMEL PAINT WITH A COLOR TO MATCH ADJACENT SIDING AND/OR TRIM PAINT (IE . . . BUILDING EXTERIOR, SEE SPRINKLER PIPING ON 501 AUBURN AVENUE AS THE BASIS OF DESIGN INTENT).
- H. FIRE SPRINKLER PIPING IN TEMPERATURE-CONTROLLED AREAS THAT IS NOT EXPOSED TO VIEW DOES NOT REQUIRE PROTECTIVE PAINTING (IE . . . BEHIND WALL FINISH, ETC. . .)
- I. FIRE SPRINKLER PIPING IN TEMPERATURE-CONTROLLED AREAS THAT IS EXPOSED TO VIEW SHALL BE PRIMED AND PAINTED WITH EPOXY ENAMEL PAINT WITH A COLOR TO MATCH ADJACENT WALL FINISH OR TRIM (IE . . . INTERIOR CLOSETS, ETC. . .)

CRAWL SPACE FLOOR PLAN KEYNOTES

- 14 FDC - REFER TO FX DRAWINGS
- 15 FIRE LINE ENTRANCE - REFER TO FX DRAWINGS
- 16 PROTECT EXPOSED WATER PIPING IN CRAWLSPACE FROM FREEZING - REFER TO FX & ELECTRICAL DRAWINGS



1 HOUSE 497 - CRAWL SPACE



A/E FIRM
CROFT & ASSOCIATES
 KENNESAW, GEORGIA

DESIGNED:
A.LAMB
 S.AMOS
 TECH REVIEW:
A.LAMB
 DATE:
07/08/2022

SUB SHEET NO.
A100

LOCATION WITHIN PARK
 497 AUBURN AVENUE, ATLANTA, GA
 TITLE OF SHEET
CRAWL SPACE PLAN
 MARTIN LUTHER KING, JR. NATIONAL HISTORICAL PARK

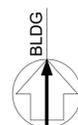
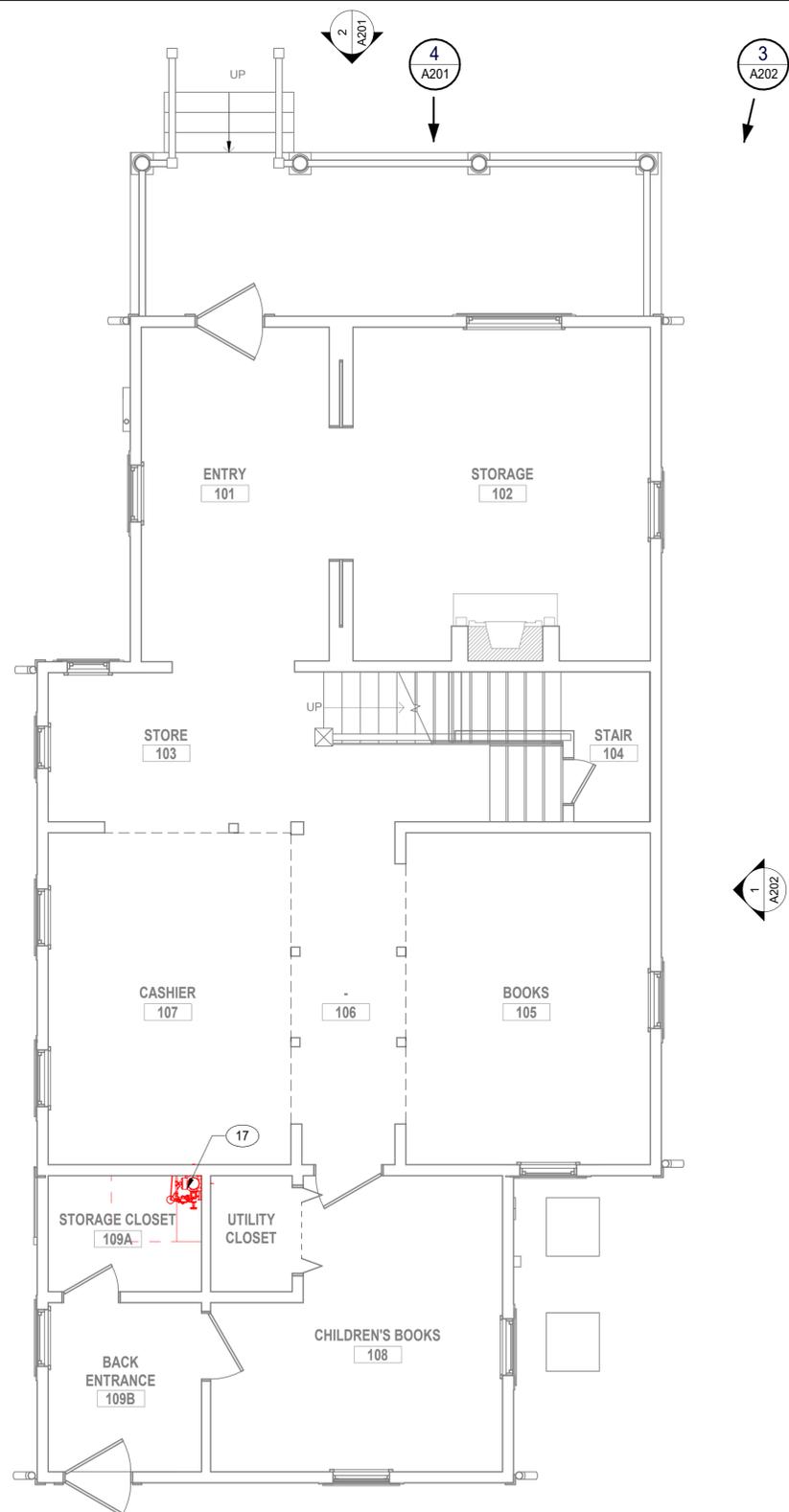
DRAWING NO.
489
 177713
 PMIS/PKG NO.
 160151
 SHEET
6 OF **21**

GENERAL FLOOR PLAN NOTES:

- A. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY.
- B. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AND NOTIFY THE CONTRACTING OFFICER IMMEDIATELY OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- C. NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE CONTRACTING OFFICER.
- D. REQUEST WRITTEN INTERPRETATION FROM THE CONTRACTING OFFICER FOR ANY LACK OF OR AMBIGUITY OF INFORMATION IN THE DRAWINGS PRIOR TO PROCEEDING WITH THAT PORTION OF THE WORK.
- E. REFRAME EXISTING WALLS AND/OR ADD WOOD BLOCKING AS REQUIRED FOR NEW THRU-WALL PENETRATIONS FOR PIPING AND/OR EQUIPMENT.
- F. FIRE SPRINKLER PIPING IN NON-TEMPERATURE-CONTROLLED AREAS WHERE NOT EXPOSED TO VIEW SHALL BE PRIMED AND PAINTED RED WITH EPOXY ENAMEL PAINT FINISH (IE . . . ATTIC, CRAWLSPACE).
- G. FIRE SPRINKLER PIPING IN NON-TEMPERATURE-CONTROLLED AREAS WHERE NOT EXPOSED TO VIEW SHALL BE PRIMED AND PAINTED WITH EPOXY ENAMEL PAINT WITH A COLOR TO MATCH ADJACENT SIDING AND/OR TRIM PAINT (IE . . . BUILDING EXTERIOR, SEE SPRINKLER PIPING ON 501 AUBURN AVENUE AS THE BASIS OF DESIGN INTENT).
- H. FIRE SPRINKLER PIPING IN TEMPERATURE-CONTROLLED AREAS THAT IS NOT EXPOSED TO VIEW DOES NOT REQUIRE PROTECTIVE PAINTING (IE . . . BEHIND WALL FINISH, ETC. . .)
- I. FIRE SPRINKLER PIPING IN TEMPERATURE-CONTROLLED AREAS THAT IS EXPOSED TO VIEW SHALL BE PRIMED AND PAINTED WITH EPOXY ENAMEL PAINT WITH A COLOR TO MATCH ADJACENT WALL FINISH OR TRIM (IE . . . INTERIOR CLOSETS, ETC. . .)

FLOOR PLAN KEYNOTES

- 17 NEW RISER & CABINET - REFER TO FX DRAWINGS



1 HOUSE 497 - 1ST FLOOR

4 A202



A/E FIRM
CROFT & ASSOCIATES
KENNESAW, GEORGIA

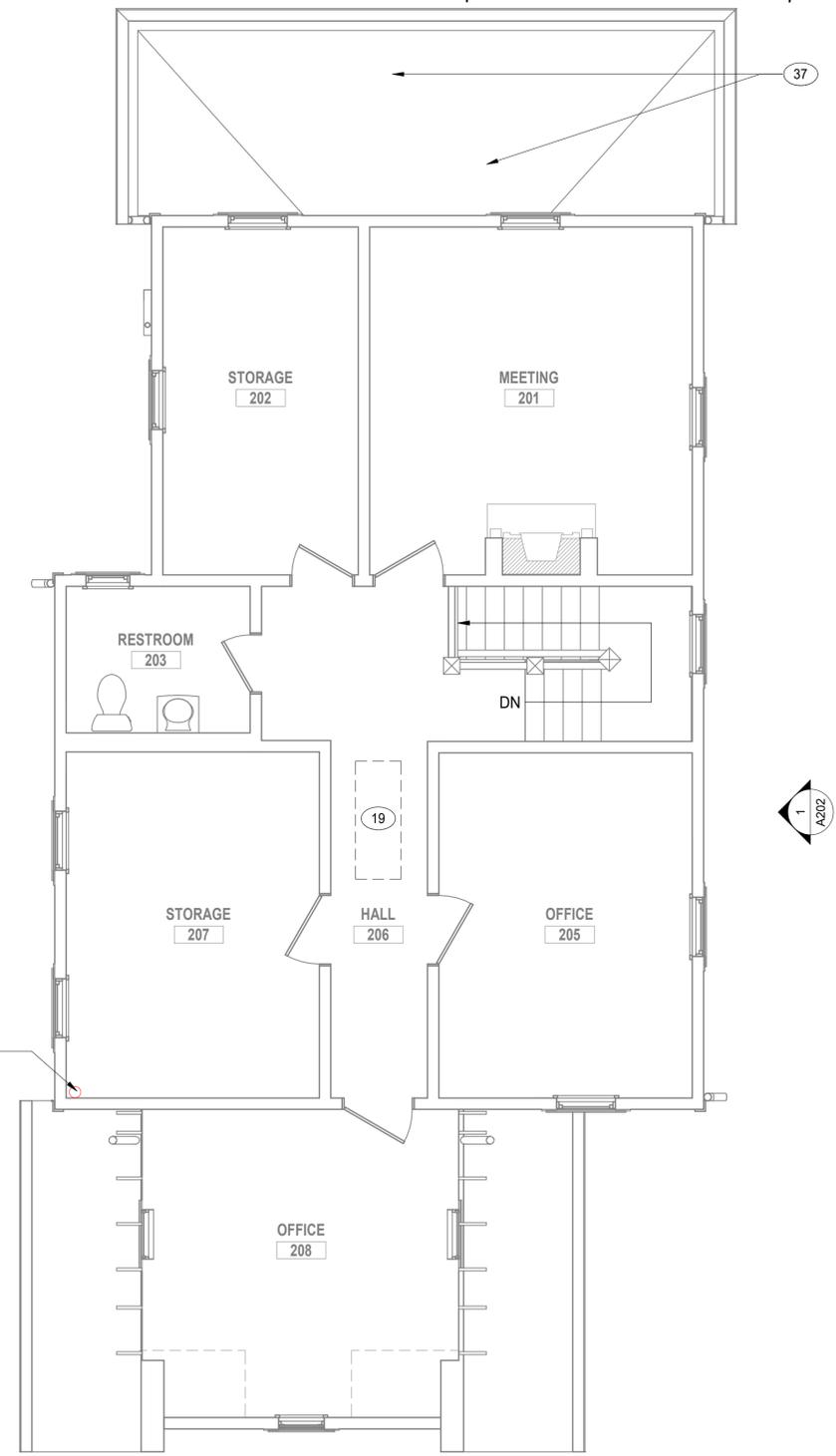
DESIGNED:
A.LAMB
S.AMOS
TECH REVIEW:
A.LAMB
DATE:
01/26/2022

SUB SHEET NO.
A101

LOCATION WITHIN PARK
497 AUBURN AVENUE, ATLANTA, GA
TITLE OF SHEET
FIRST FLOOR PLAN
MARTIN LUTHER KING, JR. NATIONAL HISTORICAL PARK

DRAWING NO.
489
177713
PMIS/PKG NO.
160151
SHEET
7 OF **21**

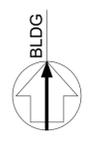
2 A201
4 A201
3 A202



- GENERAL FLOOR PLAN NOTES:**
- A. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY.
 - B. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AND NOTIFY THE CONTRACTING OFFICER IMMEDIATELY OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
 - C. NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE CONTRACTING OFFICER.
 - D. REQUEST WRITTEN INTERPRETATION FROM THE CONTRACTING OFFICER FOR ANY LACK OF OR AMBIGUITY OF INFORMATION IN THE DRAWINGS PRIOR TO PROCEEDING WITH THAT PORTION OF THE WORK.
 - E. REFRAME EXISTING WALLS AND/OR ADD WOOD BLOCKING AS REQUIRED FOR NEW THRU-WALL PENETRATIONS FOR PIPING AND/OR EQUIPMENT.
 - F. FIRE SPRINKLER PIPING IN NON-TEMPERATURE-CONTROLLED AREAS WHERE NOT EXPOSED TO VIEW SHALL BE PRIMED AND PAINTED RED WITH EPOXY ENAMEL PAINT FINISH (IE. . . ATTIC, CRAWLSPACE).
 - G. FIRE SPRINKLER PIPING IN NON-TEMPERATURE-CONTROLLED AREAS WHERE NOT EXPOSED TO VIEW SHALL BE PRIMED AND PAINTED WITH EPOXY ENAMEL PAINT WITH A COLOR TO MATCH ADJACENT SIDING AND/OR TRIM PAINT (IE. . . BUILDING EXTERIOR, SEE SPRINKLER PIPING ON 501 AUBURN AVENUE AS THE BASIS OF DESIGN INTENT).
 - H. FIRE SPRINKLER PIPING IN TEMPERATURE-CONTROLLED AREAS THAT IS NOT EXPOSED TO VIEW DOES NOT REQUIRE PROTECTIVE PAINTING (IE. . . BEHIND WALL FINISH, ETC. . .)
 - I. FIRE SPRINKLER PIPING IN TEMPERATURE-CONTROLLED AREAS THAT IS EXPOSED TO VIEW SHALL BE PRIMED AND PAINTED WITH EPOXY ENAMEL PAINT WITH A COLOR TO MATCH ADJACENT WALL FINISH OR TRIM (IE. . . INTERIOR CLOSETS, ETC. . .)

FLOOR PLAN KEYNOTES

- 18 NEW RISER - REFER TO FX DRAWINGS
- 19 ATTIC ACCESS W/ FOLDING STAIR
- 37 CONTRACTOR SHALL REMOVE ARCHITECTURAL ASPHALT SHINGLE ROOFING AND ROOF DECKING AS REQUIRED TO INSTALL NEW FIRE PROTECTION PIPING INTO CEILING OF PORCH (FROM ABOVE). AT MINIMUM, CONTRACTOR SHALL REPLACE ALL ARCHITECTURAL SHINGLES FROM HIP RIDGE TO HIP RIDGE WITH NEW SHINGLES TO MATCH EXISTING. ALL FLASHING AND ROOFING MUST BE INSTALLED BY A QUALIFIED ROOFING CONTRACTOR AND COLOR MATCHING WILL BE TO THE SATISFACTION OF THE CONTRACTING OFFICER.



1 A102 HOUSE 497 - 2ND FLOOR

4 A202



A/E FIRM
CROFT & ASSOCIATES
KENNESAW, GEORGIA

DESIGNED:
A.LAMB
S.AMOS
TECH REVIEW:
A.LAMB
DATE:
07/08/2022

SUB SHEET NO.
A102

LOCATION WITHIN PARK
497 AUBURN AVENUE, ATLANTA, GA
TITLE OF SHEET
SECOND FLOOR PLAN
MARTIN LUTHER KING, JR. NATIONAL HISTORICAL PARK

DRAWING NO.
489
177713
PMIS/PKG NO.
160151
SHEET
8 OF **21**

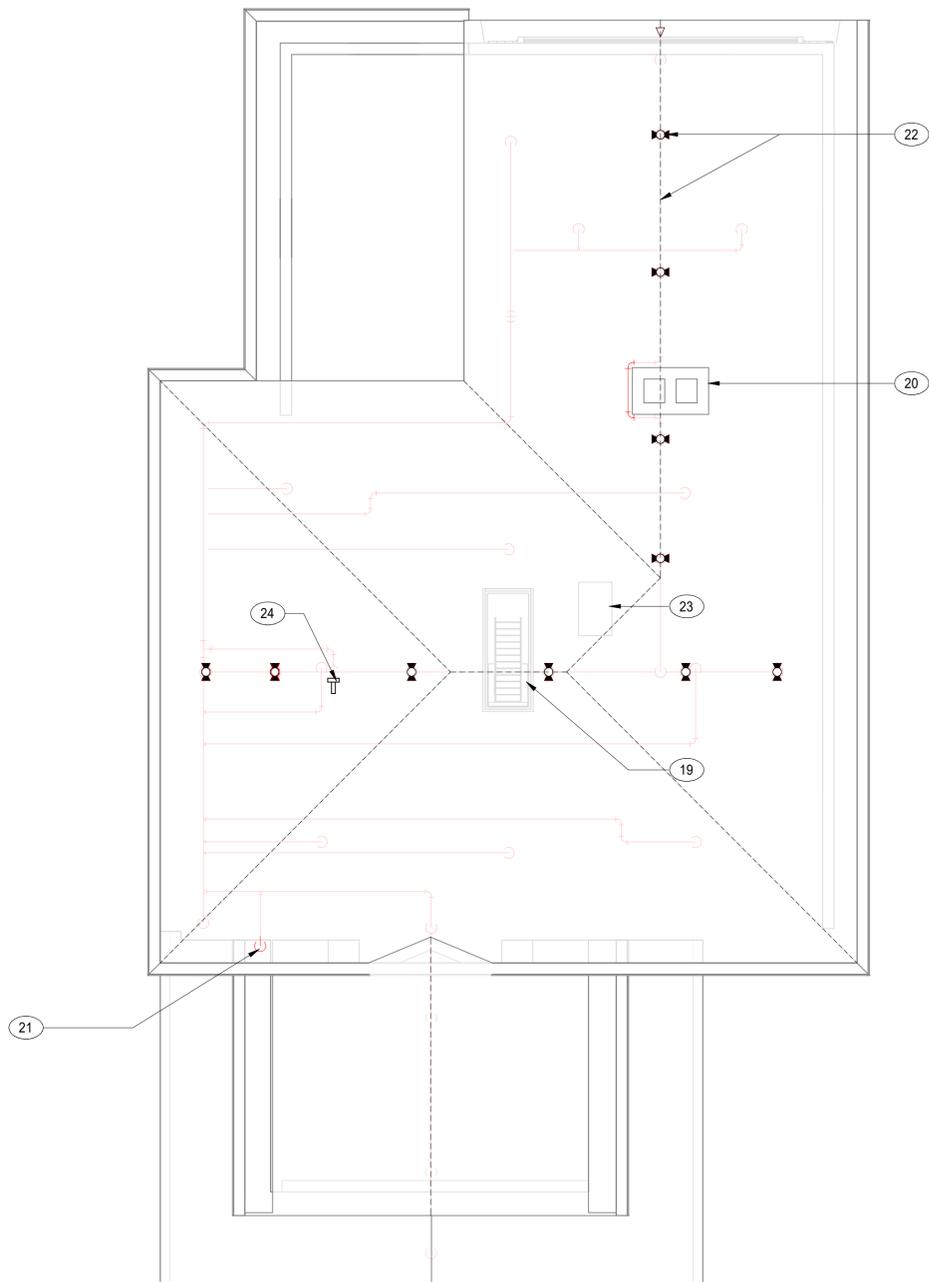
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GENERAL FLOOR PLAN NOTES:

- A. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY.
- B. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AND NOTIFY THE CONTRACTING OFFICER IMMEDIATELY OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- C. NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE CONTRACTING OFFICER.
- D. REQUEST WRITTEN INTERPRETATION FROM THE CONTRACTING OFFICER FOR ANY LACK OF OR AMBIGUITY OF INFORMATION IN THE DRAWINGS PRIOR TO PROCEEDING WITH THAT PORTION OF THE WORK.
- E. REFRAME EXISTING WALLS AND/OR ADD WOOD BLOCKING AS REQUIRED FOR NEW THRU-WALL PENETRATIONS FOR PIPING AND/OR EQUIPMENT.
- F. FIRE SPRINKLER PIPING IN NON-TEMPERATURE-CONTROLLED AREAS WHERE NOT EXPOSED TO VIEW SHALL BE PRIMED AND PAINTED RED WITH EPOXY ENAMEL PAINT FINISH (IE. . . ATTIC, CRAWLSPACE).
- G. FIRE SPRINKLER PIPING IN NON-TEMPERATURE-CONTROLLED AREAS WHERE NOT EXPOSED TO VIEW SHALL BE PRIMED AND PAINTED WITH EPOXY ENAMEL PAINT WITH A COLOR TO MATCH ADJACENT SIDING AND/OR TRIM PAINT (IE. . . BUILDING EXTERIOR, SEE SPRINKLER PIPING ON 501 AUBURN AVENUE AS THE BASIS OF DESIGN INTENT).
- H. FIRE SPRINKLER PIPING IN TEMPERATURE-CONTROLLED AREAS THAT IS NOT EXPOSED TO VIEW DOES NOT REQUIRE PROTECTIVE PAINTING (IE. . . BEHIND WALL FINISH, ETC. . .)
- I. FIRE SPRINKLER PIPING IN TEMPERATURE-CONTROLLED AREAS THAT IS EXPOSED TO VIEW SHALL BE PRIMED AND PAINTED WITH EPOXY ENAMEL PAINT WITH A COLOR TO MATCH ADJACENT WALL FINISH OR TRIM (IE. . . INTERIOR CLOSETS, ETC. . .)

ATTIC FLOOR PLAN KEYNOTES

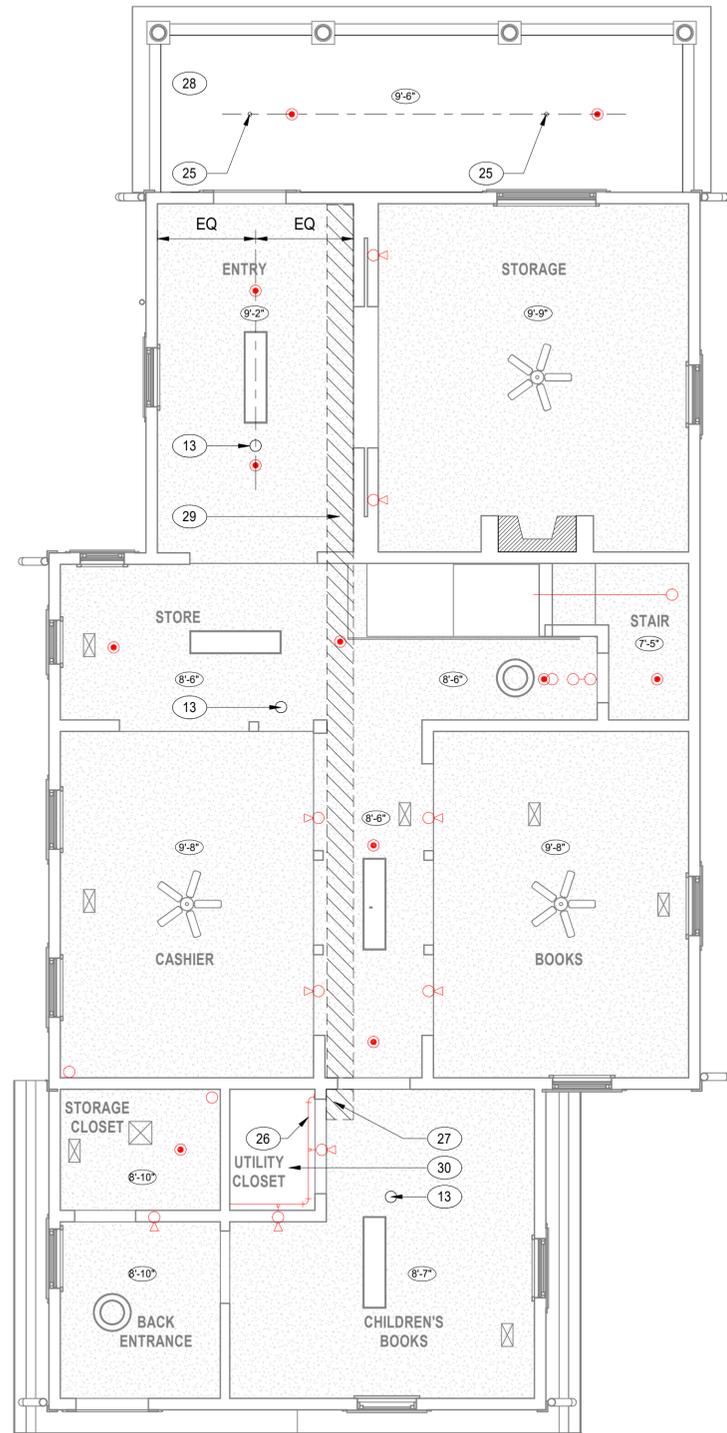
- 19 ATTIC ACCESS W/ FOLDING STAIR
- 20 EXISTING BRICK CHIMNEY. VERIFY LOCATION IN FIELD.
- 21 NEW FIRE RISER PIPING - FROM BELOW
- 22 NEW FIRE SPRINKLER PIPING & SPRINKLER HEADS - REFER TO FX DRAWINGS
- 23 AC UNIT APPROXIMATE LOCATION. VERIFY EXACT LOCATION IN FIELD.
- 24 PROVIDE STRUCTURAL RISER POLE TO SUPPORT F.P. RISER PIPING FROM CEILING JOISTS TO ROOF. CLAMP F.P. PIPING TO RISER POLE



1
A103 HOUSE 497 - ATTIC PLAN



A/E FIRM CROFT & ASSOCIATES KENNESAW, GEORGIA	DESIGNED: A.LAMB	SUB SHEET NO. A103	LOCATION WITHIN PARK 497 AUBURN AVENUE, ATLANTA, GA	DRAWING NO. 489
	TECH REVIEW: A.LAMB		TITLE OF SHEET ATTIC PLAN	PMIS/PKG NO. 160151
	DATE: 07/08/2022		MARTIN LUTHER KING, JR. NATIONAL HISTORICAL PARK	SHEET 9 OF 21



REFLECTED CEILING PLAN KEYNOTES

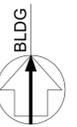
- 13 EXISTING SMOKE DETECTOR
- 25 EXISTING LIGHT FIXTURES (TO REMAIN).
- 26 HOLD TOP OF PIPE TO UNDERSIDE OF JOIST
- 27 ONLY REMOVE CEILING WHERE REQUIRED. INSTALL PIPING WITHOUT REMOVING CEILING (WHERE POSSIBLE). IF CEILING REMOVAL IS REQUIRED PATCH AND REPAIR TO ORIGINAL FINISHED CONDITION AND TO MATCH EXISTING.
- 28 PROTECT EXISTING CEILING. DO NOT REMOVE CEILING TO INSTALL PIPING. CORE NEW HOLES SIZED FOR NEW SPRINKLER HEADS ONLY AS REQUIRED TO INSTALL NEW SPRINKLER HEADS.
- 29 DEMOLISH ALL OR PORTIONS OF EXISTING CEILING AS INDICATED AND AS REQUIRED TO ALLOW FOR INSTALLATION OF NEW FIRE SPRINKLER PIPING. REPLACE WITH NEW GWB CEILING WHERE DEMOLISHED AND FINISH TO MATCH EXISTING CEILING (LEVEL 4 FINISH - MINIMUM)
- 30 OPEN TO STRUCTURE

REFLECTED CEILING PLAN LEGEND

- CEILING HEIGHT TAG
- NEW WALL MOUNTED SPRINKLER HEAD
- NEW CEILING SPRINKLER
- EXISTING CEILING FAN LIGHT
- EXISTING FLUORESCENT LIGHT
- EXISTING GLOBE LIGHT
- MECHANICAL GRILLE
- EXHAUST FAN

GENERAL REFLECTED CEILING PLAN NOTES

- A. IF THERE ARE QUESTIONS REGARDING THE ITEMS NOTED HEREIN OR OTHER COORDINATION PROBLEMS, THE CONTRACTOR SHALL OBTAIN A WRITTEN CLARIFICATION FROM THE CONTRACTING OFFICER PRIOR TO PROCEEDING WITH THE WORK.
- B. VERIFY FIELD CONDITIONS AND LOCATIONS OF ELECTRICAL, MECHANICAL, PLUMBING, AND STRUCTURAL ELEMENTS AND ANY OTHER APPLICABLE ITEMS. REVIEW AND DETERMINE CEILING CAVITY EQUIPMENT TO INSURE ADEQUATE CLEARANCES FOR CEILING LAYOUT BEFORE RELATED ELEMENTS ARE CONSTRUCTED.
- C. DEVICES ON THIS PLAN HAVE BEEN SHOWN FOR COORDINATION PURPOSES ONLY. ALL DEVICES MAY NOT BE SHOWN. INSTALL ALL DEVICES INDICATED ON THE MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION AND OTHER APPLICABLE DRAWINGS FOR ITEMS NOT SHOWN ON REFLECTED CEILING PLANS.
- D. ALL MEP WORK SHALL BE PLANNED TO MINIMIZE THE AMOUNT OF ACCESS PANELS IN HARD CEILINGS. COORDINATE REQUIRED PANEL LOCATIONS W/ THE CONTRACTING OFFICER. PANELS ARE TO BE FINISHED TO MATCH ADJACENT SURFACE.
- E. ALL RECESSED LIGHTS AND SIMILAR CEILING MOUNTED EQUIPMENT WHERE REMOVED FOR INSTALLATION OF NEW FIRE PROTECTION PIPING SHALL BE REMOVED ONLY AS REQUIRED, PROTECTED, AND REPLACED IN ORIGINAL LOCATION U.N.O.
- F. NEW SPRINKLER HEADS SHALL BE LOCATED AS INDICATED IN REFLECTED CEILING PLANS UNLESS UNFORESEEN CONDITIONS EXIST THAT PREVENT SUCH PLACEMENT. WHERE UNFORESEEN CONDITIONS EXIST, CONTRACTOR SHALL NOTIFY CONTRACTING OFFICER FOR FURTHER DIRECTION.
- G. DISCUSS ALL VISIBLE EQUIPMENT: SPRINKLER HEADS, CONNECTING PIPES, CONDUITS ETC. W/ THE CONTRACTING OFFICER BEFORE INSTALLATION.
- H. PROVIDE VERTICAL SUPPORT AS REQUIRED BY BUILDING CODES.
- I. SUPPORT LIGHT FIXTURES AND AIR DIFFUSERS DIRECTLY TO THE EXISTING STRUCTURE ABOVE.
- J. CEILING HEIGHTS VARY - REFER TO PLAN, VERIFY IN FIELD.
- K. ALL GWB CEILINGS TO BE PAINTED TO MATCH EXISTING ADJACENT COLORS.
- L. ALL GWB CEILINGS TO RECEIVE CONCEALED SPRINKLER HEADS. SPRINKLER HEADS, OTHER THAN CONCEALED, SHALL BE FULLY RECESSED.
- M. ALL GYPSUM BOARD CEILINGS IN WET AREAS LIKE RESTROOMS AND JANITOR CLOSETS ETC. SHALL BE WATER RESISTANT GYPSUM BOARD.
- N. ALL EXISTING DEVICES IN GYPSUM BOARD CEILINGS SHOWN IN THIS PLAN ARE FOR REFERENCE AND COORDINATION ONLY - GENERAL CONTRACTOR TO FIELD VERIFY FIRE ALARM DEVICES, SPRINKLER HEADS, THERMOSTATS, ETC. WITHIN SCOPE OF WORK. REFER TO FP DRAWINGS FOR FIRE PROTECTION SCOPE.
- O. FIRE SPRINKLER PIPING IN NON-TEMPERATURE-CONTROLLED AREAS WHERE NOT EXPOSED TO VIEW SHALL BE PRIMED AND PAINTED RED WITH EPOXY ENAMEL PAINT FINISH (IE. . . ATTIC, CRAWLSPACE).
- P. FIRE SPRINKLER PIPING IN NON-TEMPERATURE-CONTROLLED AREAS WHERE NOT EXPOSED TO VIEW SHALL BE PRIMED AND PAINTED WITH EPOXY ENAMEL PAINT WITH A COLOR TO MATCH ADJACENT SIDING AND/OR TRIM PAINT (IE. . . BUILDING EXTERIOR, SEE SPRINKLER PIPING ON 501 AUBURN AVENUE AS THE BASIS OF DESIGN INTENT).
- Q. FIRE SPRINKLER PIPING IN TEMPERATURE-CONTROLLED AREAS THAT IS NOT EXPOSED TO VIEW DOES NOT REQUIRE PROTECTIVE PAINTING (IE. . . BEHIND WALL FINISH, ETC. . .)
- R. FIRE SPRINKLER PIPING IN TEMPERATURE-CONTROLLED AREAS THAT IS EXPOSED TO VIEW SHALL BE PRIMED AND PAINTED WITH EPOXY ENAMEL PAINT WITH A COLOR TO MATCH ADJACENT WALL FINISH OR TRIM (IE. . . INTERIOR CLOSETS, ETC. . .)



1 HOUSE 497 - RCP 1ST FLOOR
A131



A/E FIRM CROFT & ASSOCIATES KENNESAW, GEORGIA	DESIGNED: A.LAMB	SUB SHEET NO. A131	LOCATION WITHIN PARK 497 AUBURN AVENUE, ATLANTA, GA TITLE OF SHEET RCP - FIRST FLOOR MARTIN LUTHER KING, JR. NATIONAL HISTORICAL PARK	DRAWING NO. 489 177713
	TECH REVIEW: S.AMOS			PMIS/PKG NO. 160151
	DATE: 01/26/2022			SHEET 10 OF 21

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REFLECTED CEILING PLAN KEYNOTES

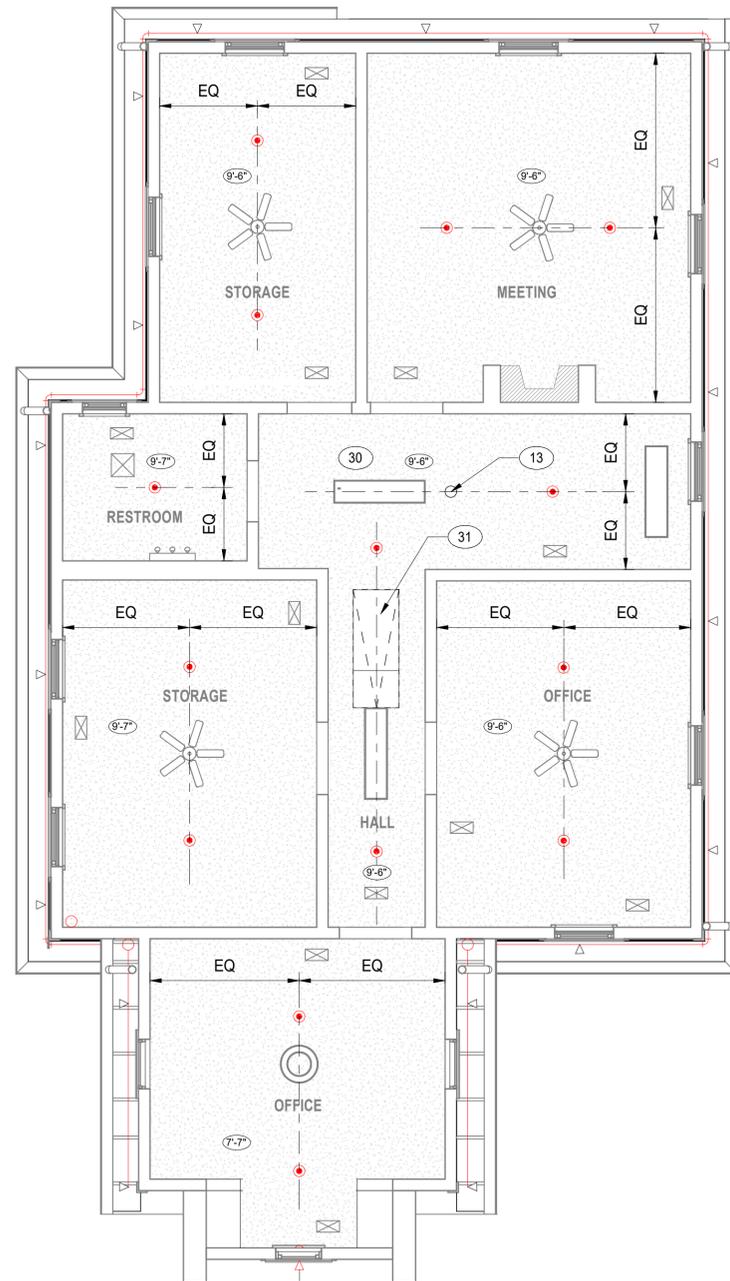
- 13 EXISTING SMOKE DETECTOR
- 30 OPEN TO STRUCTURE
- 31 APPROXIMATE LOCATION OF NEW FDC - INCLUDE SIGNAGE AS REQUIRED BY AHJ

REFLECTED CEILING PLAN LEGEND

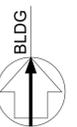
-  CEILING HEIGHT TAG
-  NEW WALL MOUNTED SPRINKLER HEAD
-  NEW CEILING SPRINKLER
-  EXISTING CEILING FAN LIGHT
-  EXISTING FLUORESCENT LIGHT
-  EXISTING GLOBE LIGHT
-  MECHANICAL GRILLE
-  EXHAUST FAN

GENERAL REFLECTED CEILING PLAN NOTES

- A. IF THERE ARE QUESTIONS REGARDING THE ITEMS NOTED HEREIN OR OTHER COORDINATION PROBLEMS, THE CONTRACTOR SHALL OBTAIN A WRITTEN CLARIFICATION FROM THE CONTRACTING OFFICER PRIOR TO PROCEEDING WITH THE WORK.
- B. VERIFY FIELD CONDITIONS AND LOCATIONS OF ELECTRICAL, MECHANICAL, PLUMBING, AND STRUCTURAL ELEMENTS AND ANY OTHER APPLICABLE ITEMS. REVIEW AND DETERMINE CEILING CAVITY EQUIPMENT TO INSURE ADEQUATE CLEARANCES FOR CEILING LAYOUT BEFORE RELATED ELEMENTS ARE CONSTRUCTED.
- C. DEVICES ON THIS PLAN HAVE BEEN SHOWN FOR COORDINATION PURPOSES ONLY. ALL DEVICES MAY NOT BE SHOWN. INSTALL ALL DEVICES INDICATED ON THE MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION AND OTHER APPLICABLE DRAWINGS FOR ITEMS NOT SHOWN ON REFLECTED CEILING PLANS.
- D. ALL MEP WORK SHALL BE PLANNED TO MINIMIZE THE AMOUNT OF ACCESS PANELS IN HARD CEILINGS. COORDINATE REQUIRED PANEL LOCATIONS W/ THE CONTRACTING OFFICER. PANELS ARE TO BE FINISHED TO MATCH ADJACENT SURFACE.
- E. ALL RECESSED LIGHTS AND SIMILAR CEILING MOUNTED EQUIPMENT WHERE REMOVED FOR INSTALLATION OF NEW FIRE PROTECTION PIPING SHALL BE REMOVED ONLY AS REQUIRED, PROTECTED, AND REPLACED IN ORIGINAL LOCATION U.N.O.
- F. NEW SPRINKLER HEADS SHALL BE LOCATED AS INDICATED IN REFLECTED CEILING PLANS UNLESS UNFORESEEN CONDITIONS EXIST THAT PREVENT SUCH PLACEMENT. WHERE UNFORESEEN CONDITIONS EXIST, CONTRACTOR SHALL NOTIFY CONTRACTING OFFICER FOR FURTHER DIRECTION.
- G. DISCUSS ALL VISIBLE EQUIPMENT: SPRINKLER HEADS, CONNECTING PIPES, CONDUITS ETC. W/ THE CONTRACTING OFFICER BEFORE INSTALLATION.
- H. PROVIDE VERTICAL SUPPORT AS REQUIRED BY BUILDING CODES.
- I. SUPPORT LIGHT FIXTURES AND AIR DIFFUSERS DIRECTLY TO THE EXISTING STRUCTURE ABOVE.
- J. CEILING HEIGHTS VARY - REFER TO PLAN, VERIFY IN FIELD.
- K. ALL GWB CEILINGS TO BE PAINTED TO MATCH EXISTING ADJACENT COLORS.
- L. ALL GWB CEILINGS TO RECEIVE CONCEALED SPRINKLER HEADS. SPRINKLER HEADS, OTHER THAN CONCEALED, SHALL BE FULLY RECESSED.
- M. ALL GYPSUM BOARD CEILINGS IN WET AREAS LIKE RESTROOMS AND JANITOR CLOSETS ETC. SHALL BE WATER RESISTANT GYPSUM BOARD.
- N. ALL EXISTING DEVICES IN GYPSUM BOARD CEILINGS SHOWN IN THIS PLAN ARE FOR REFERENCE AND COORDINATION ONLY - GENERAL CONTRACTOR TO FIELD VERIFY FIRE ALARM DEVICES, SPRINKLER HEADS, THERMOSTATS, ETC. WITHIN SCOPE OF WORK. REFER TO FP DRAWINGS FOR FIRE PROTECTION SCOPE.
- O. FIRE SPRINKLER PIPING IN NON-TEMPERATURE-CONTROLLED AREAS WHERE NOT EXPOSED TO VIEW SHALL BE PRIMED AND PAINTED RED WITH EPOXY ENAMEL PAINT FINISH (IE. . . ATTIC, CRAWLSPACE).
- P. FIRE SPRINKLER PIPING IN NON-TEMPERATURE-CONTROLLED AREAS WHERE NOT EXPOSED TO VIEW SHALL BE PRIMED AND PAINTED WITH EPOXY ENAMEL PAINT WITH A COLOR TO MATCH ADJACENT SIDING AND/OR TRIM PAINT (IE. . . BUILDING EXTERIOR, SEE SPRINKLER PIPING ON 501 AUBURN AVENUE AS THE BASIS OF DESIGN INTENT).
- Q. FIRE SPRINKLER PIPING IN TEMPERATURE-CONTROLLED AREAS THAT IS NOT EXPOSED TO VIEW DOES NOT REQUIRE PROTECTIVE PAINTING (IE. . . BEHIND WALL FINISH, ETC. . .)
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1 HOUSE 497 - RCP 2ND FLOOR
A132



A/E FIRM
CROFT & ASSOCIATES
KENNESAW, GEORGIA

DESIGNED:
A.LAMB
S.AMOS
TECH REVIEW:
A.LAMB
DATE:
07/29/2022

SUB SHEET NO.
A132

LOCATION WITHIN PARK
497 AUBURN AVENUE, ATLANTA, GA
TITLE OF SHEET
RCP - SECOND FLOOR
MARTIN LUTHER KING, JR. NATIONAL HISTORICAL PARK

DRAWING NO.
489
177713
PMIS/PKG NO.
160151
SHEET
11 OF **21**



31 32 36

3
A201
PIC 1



4
A201
PIC 2

GENERAL ELEVATION PLAN NOTES:

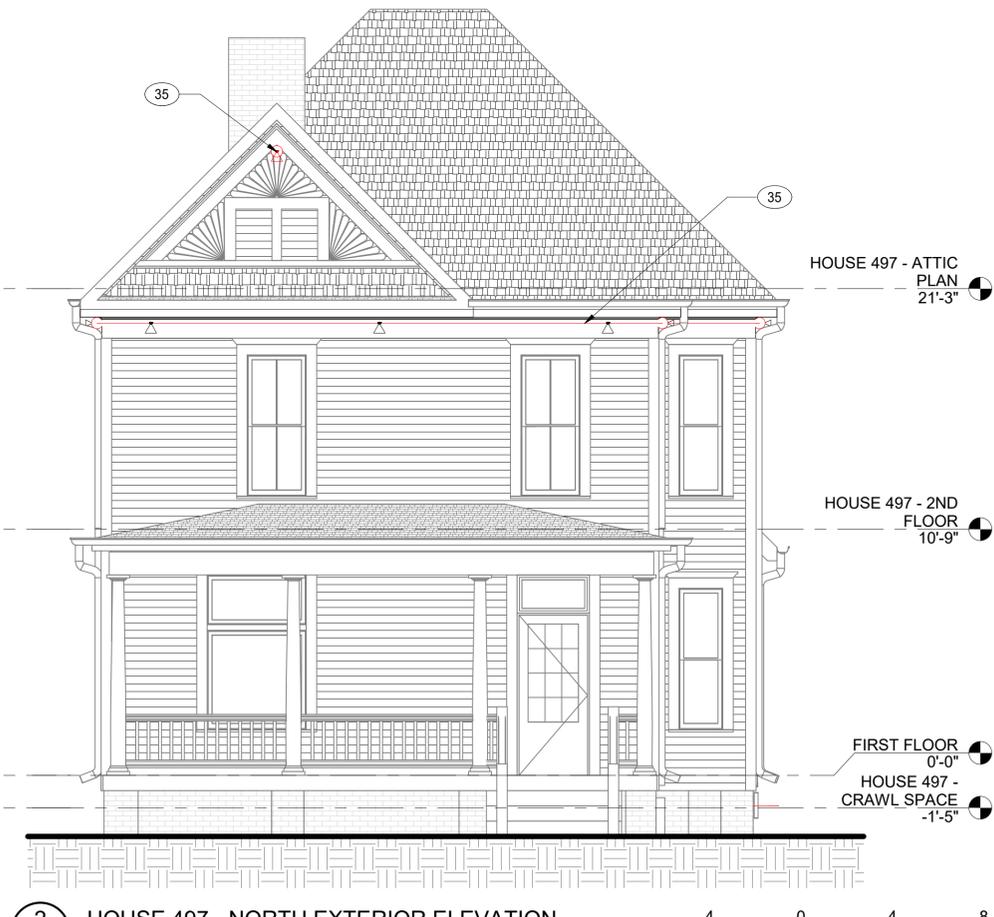
- A. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY.
- B. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AND NOTIFY THE CONTRACTING OFFICER IMMEDIATELY OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- C. NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE CONTRACTING OFFICER.
- D. REQUEST WRITTEN INTERPRETATION FROM THE CONTRACTING OFFICER FOR ANY LACK OF OR AMBIGUITY OF INFORMATION IN THE DRAWINGS PRIOR TO PROCEEDING WITH THAT PORTION OF THE WORK.
- E. FIRE ALARM SPRINKLER PIPING IN NON-TEMPERATURE-CONTROLLED AREAS WHERE EXPOSED TO VIEW SHALL BE PRIMED AND PAINTED WITH EPOXY ENAMEL PAINT WITH A COLOR TO MATCH ADJACENT SIDING AND/OR TRIM PAINT (IE. . . BUILDING EXTERIOR, SEE SPRINKLER PUPING ON 501 AUBURN AVENUE AS THE BASIS OF DESIGN INTENT).

ELEVATION KEYNOTES

- 31 APPROXIMATE LOCATION OF NEW FDC - INCLUDE SIGNAGE AS REQUIRED BY AHJ
- 32 APPROXIMATE LOCATION OF NEW FIRE LINE
- 33 EXISTING CONDUIT & PVC PIPING TO REMAIN - PROTECT DURING INSTALLATION OF NEW FDC & FIRE LINE
- 34 EXISTING CRAWLSPACE ACCESS
- 35 NEW DRY TYPE FIRE PROTECTION PIPING SYSTEM - REFER TO FX DRAWINGS
- 36 THIS PORTION OF SIDEWALK TO BE REMOVED/REPLACED. PROTECT ADJACENT CONCRETE SIDEWALKS.



1
A201
HOUSE 497 - WEST EXTERIOR ELEVATION



2
A201
HOUSE 497 - NORTH EXTERIOR ELEVATION



HOUSE 497 - ATTIC PLAN
21'-3"

HOUSE 497 - 2ND FLOOR
10'-9"

FIRST FLOOR
0'-0"
HOUSE 497 - CRAWL SPACE
-1'-5"



A/E FIRM
CROFT & ASSOCIATES
KENNESAW, GEORGIA

DESIGNED:
A.LAMB
S.AMOS
TECH REVIEW:
A.LAMB
DATE:
01/26/2022

SUB SHEET NO.
A201

LOCATION WITHIN PARK
497 AUBURN AVENUE, ATLANTA, GA
TITLE OF SHEET
EXTERIOR ELEVATIONS
MARTIN LUTHER KING, JR. NATIONAL HISTORICAL PARK

DRAWING NO.
489
177713
PMIS/PKG NO.
160151
SHEET
12 OF **21**



3 PIC 3
A202



4 PIC 4
A202

GENERAL ELEVATION PLAN NOTES:

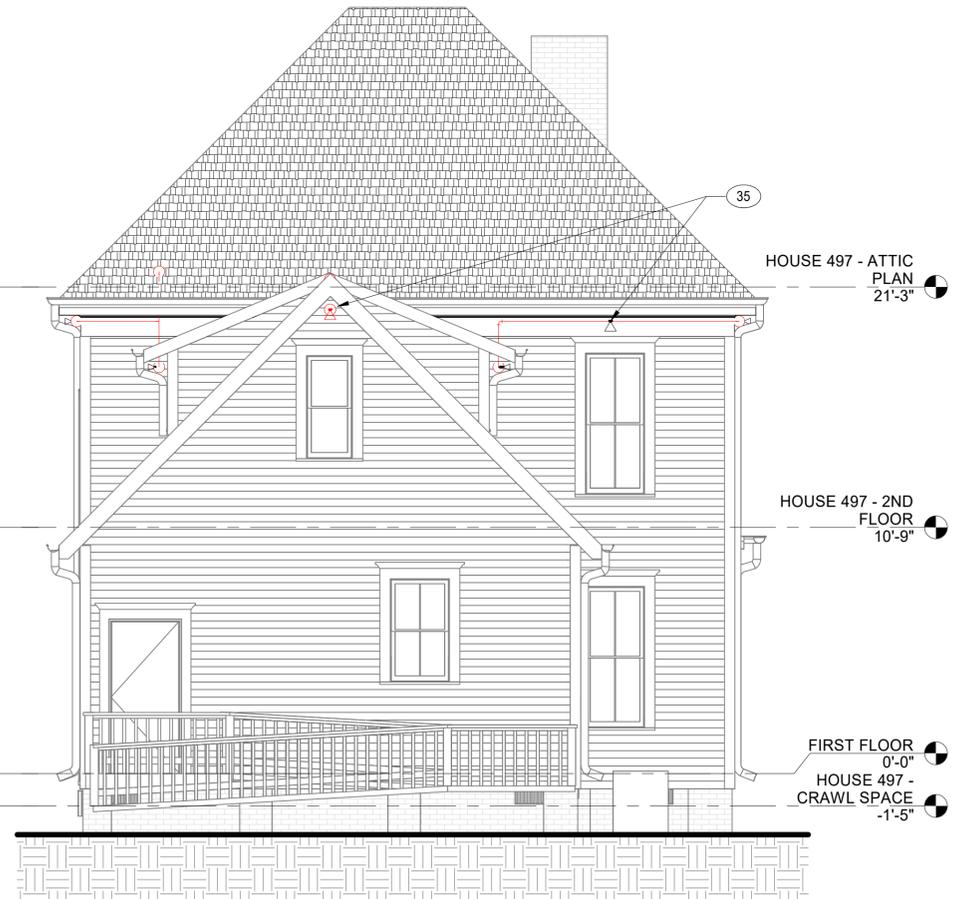
- A. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY.
- B. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AND NOTIFY THE CONTRACTING OFFICER IMMEDIATELY OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- C. NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE CONTRACTING OFFICER.
- D. REQUEST WRITTEN INTERPRETATION FROM THE CONTRACTING OFFICER FOR ANY LACK OF OR AMBIGUITY OF INFORMATION IN THE DRAWINGS PRIOR TO PROCEEDING WITH THAT PORTION OF THE WORK.
- E. FIRE ALARM SPRINKLER PIPING IN NON-TEMPERATURE-CONTROLLED AREAS WHERE EXPOSED TO VIEW SHALL BE PRIMED AND PAINTED WITH EPOXY ENAMEL PAINT WITH A COLOR TO MATCH ADJACENT SIDING AND/OR TRIM PAINT (IE . . . BUILDING EXTERIOR, SEE SPRINKLER PUPING ON 501 AUBURN AVENUE AS THE BASIS OF DESIGN INTENT).

ELEVATION KEYNOTES

- 35 NEW DRY TYPE FIRE PROTECTION PIPING SYSTEM - REFER TO FX DRAWINGS



1 HOUSE 497 - EAST EXTERIOR ELEVATION
A202



2 HOUSE 497 - SOUTH EXTERIOR ELEVATION
A202



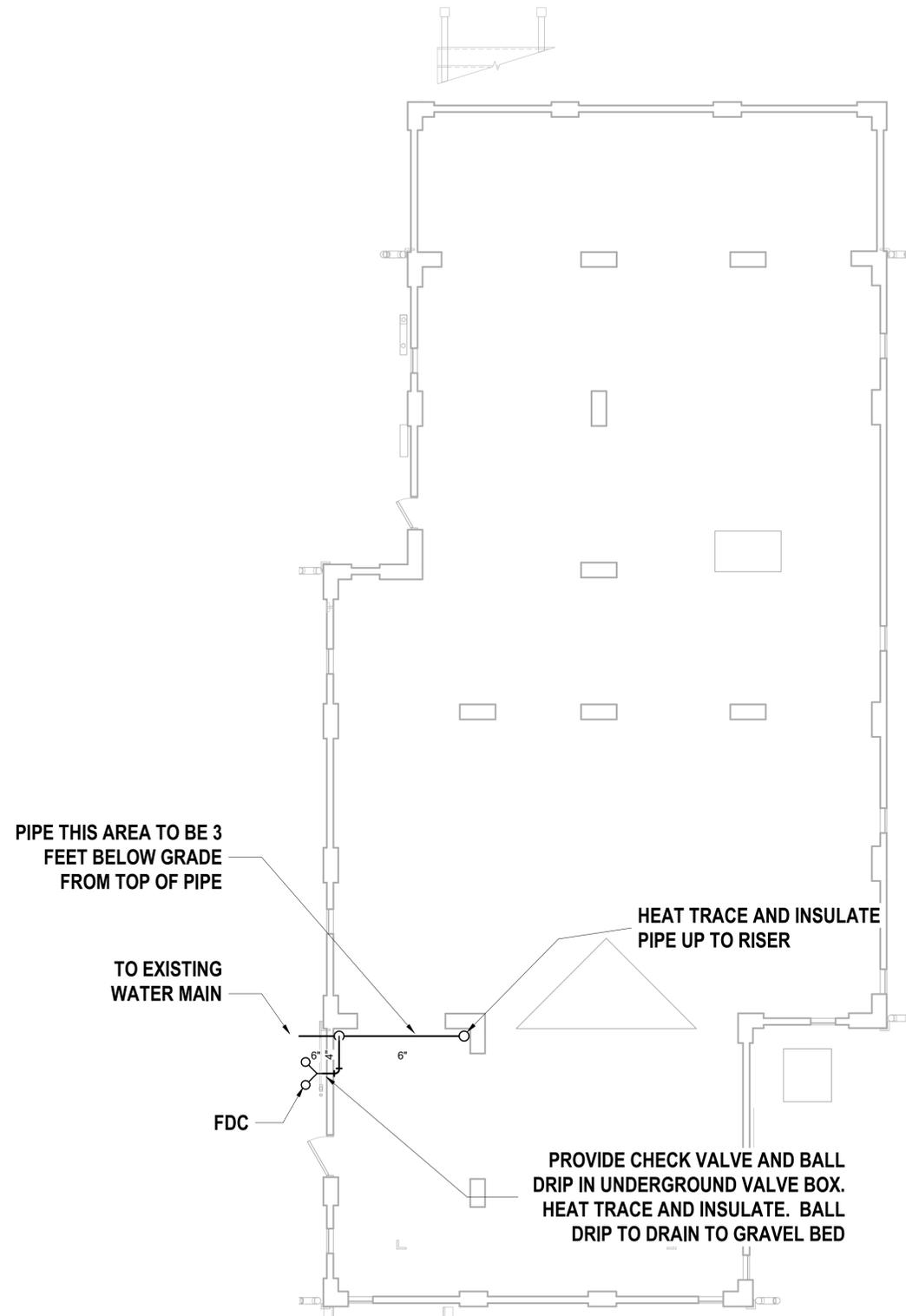
A/E FIRM CROFT & ASSOCIATES KENNESAW, GEORGIA	DESIGNED: A.LAMB	SUB SHEET NO. A202	LOCATION WITHIN PARK 497 AUBURN AVENUE, ATLANTA, GA	DRAWING NO. 489
	TECH REVIEW: A.LAMB		TITLE OF SHEET EXTERIOR ELEVATIONS	PMIS/PKG NO. 160151
DATE: 07/08/2022			MARTIN LUTHER KING, JR. NATIONAL HISTORICAL PARK	SHEET 13 OF 21

FIRE PROTECTION NOTES

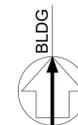
- SEE SHEET FX106 FOR FIRE PROTECTION NOTES AND DETAILS.
- NO SPRINKLERS REQUIRED IN CRAWLSPACE PER NPS REGIONAL STRUCTURAL FIRE MANAGER DUE TO LIMITED ACCESS AND IGNITION SOURCES.

FIRE PROTECTION LEGEND

-  FIRE DEPARTMENT CONNECTION
-  RECESSED DRY PENDENT SPRINKLER
-  UPRIGHT SPRINKLER
-  HORIZONTAL SIDEWALL SPRINKLER
-  UPRIGHT ATTIC SPRINKLER



1 CRAWL SPACE - FIRE PROTECTION PLAN



A/E FIRM
CROFT & ASSOCIATES
 KENNESAW, GEORGIA

DESIGNED:
 JOK
 TECH REVIEW:
 DWF
 DATE:
 01/26/2022

SUB SHEET NO.
FX100

LOCATION WITHIN PARK
 497 AUBURN AVENUE, ATLANTA, GA
 TITLE OF SHEET
CRAWL SPACE FIRE PROTECTION PLAN
 MARTIN LUTHER KING, JR. NATIONAL HISTORICAL PARK

DRAWING NO.
489
 177713
 PMIS/PKG NO.
 160151
 SHEET
14 OF **21**

FIRE PROTECTION NOTES

- SEE SHEET FX106 FOR FIRE PROTECTION NOTES AND DETAILS.

FIRE PROTECTION LEGEND

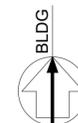
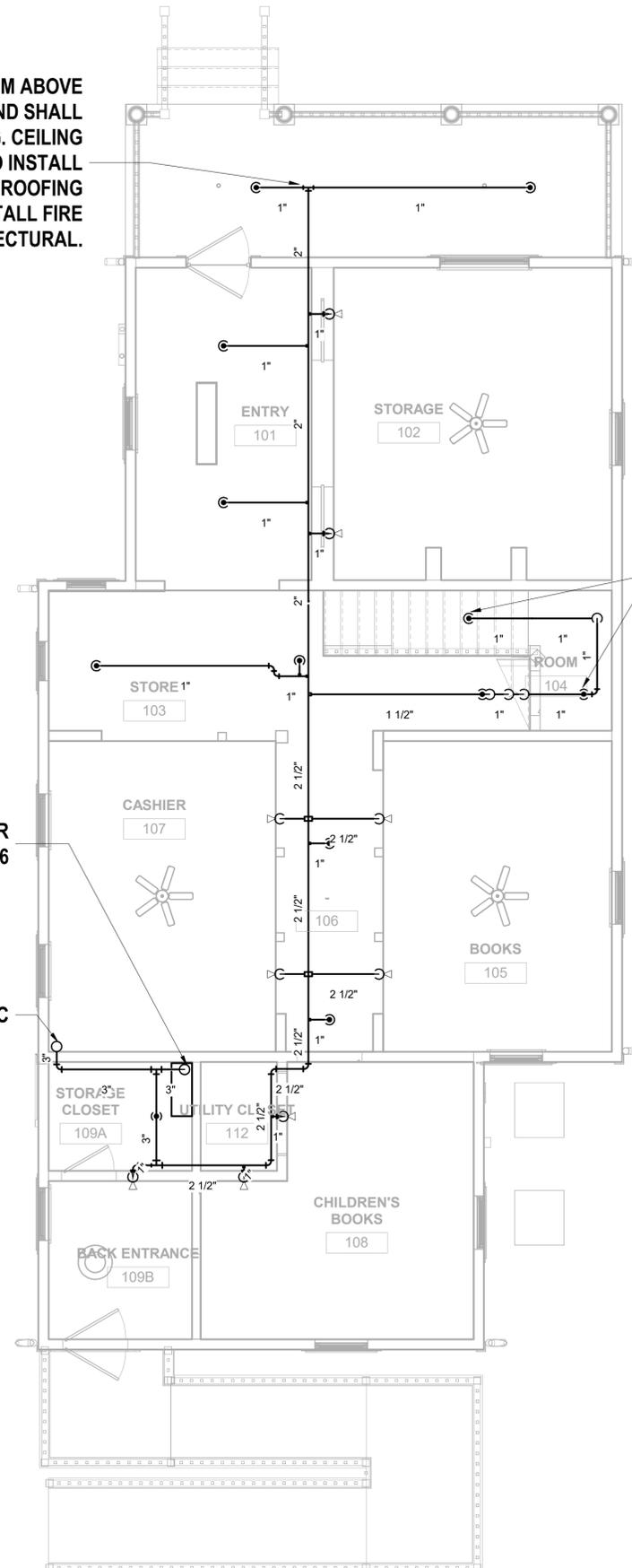
-  FIRE DEPARTMENT CONNECTION
-  RECESSED DRY PENDENT SPRINKLER
-  UPRIGHT SPRINKLER
-  HORIZONTAL SIDEWALL SPRINKLER
-  UPRIGHT ATTIC SPRINKLER

CONTRACTOR SHALL ROUTE PIPING FROM ABOVE EXISTING HISTORIC PORCH CEILING SOFFIT AND SHALL NOT REMOVE CEILING SOFFIT TO INSTALL PIPING. CEILING SHALL ONLY BE CORE DRILLED AS REQUIRED TO INSTALL NEW SPRINKLER HEADS FOR PORCH. REMOVE ROOFING FROM ABOVE PORCH AS REQUIRED TO INSTALL FIRE SPRINKLER PIPING. REFER TO ARCHITECTURAL.

DRY PIPE SPRINKLER RISER. SEE DETAIL 2/FX106

UP TO ATTIC

SPRINKLERS SERVING ROOM 104 UNDER THE STAIRS



1 FIRST FLOOR - FIRE PROTECTION PLAN



A/E FIRM
CROFT & ASSOCIATES
KENNESAW, GEORGIA

DESIGNED:
JOK
TECH REVIEW:
DWF
DATE:
01/26/2022

SUB SHEET NO.
FX101

LOCATION WITHIN PARK
497 AUBURN AVENUE, ATLANTA, GA
TITLE OF SHEET
FIRST FLOOR FIRE PROTECTION PLAN
MARTIN LUTHER KING, JR. NATIONAL HISTORICAL PARK

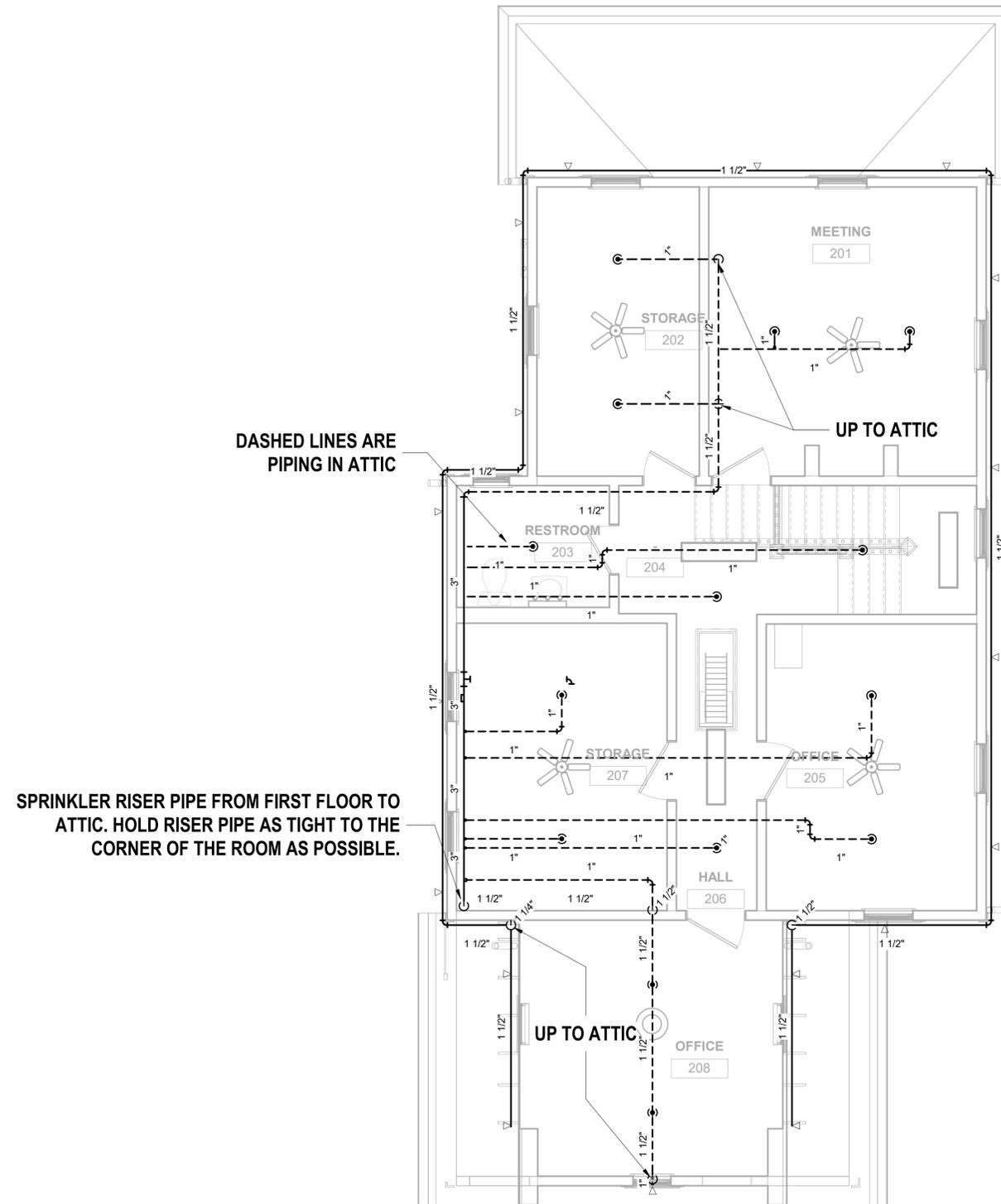
DRAWING NO.
489
177713
PMIS/PKG NO.
160151
SHEET
15 OF 21

FIRE PROTECTION NOTES

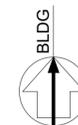
1. SEE SHEET FX106 FOR FIRE PROTECTION NOTES AND DETAILS.

FIRE PROTECTION LEGEND

- ⌵
FIRE DEPARTMENT CONNECTION
- RECESSED DRY PENDENT SPRINKLER
- UPRIGHT SPRINKLER
- ▽
HORIZONTAL SIDEWALL SPRINKLER
- ⊠
UPRIGHT ATTIC SPRINKLER



1 SECOND FLOOR - FIRE PROTECTION PLAN



A/E FIRM
CROFT & ASSOCIATES
KENNESAW, GEORGIA

DESIGNED:
JOK
TECH REVIEW:
DWF
DATE:
01/26/2022

SUB SHEET NO.
FX102

LOCATION WITHIN PARK
497 AUBURN AVENUE, ATLANTA, GA
TITLE OF SHEET
SECOND FLOOR FIRE PROTECTION PLAN
MARTIN LUTHER KING, JR. NATIONAL HISTORICAL PARK

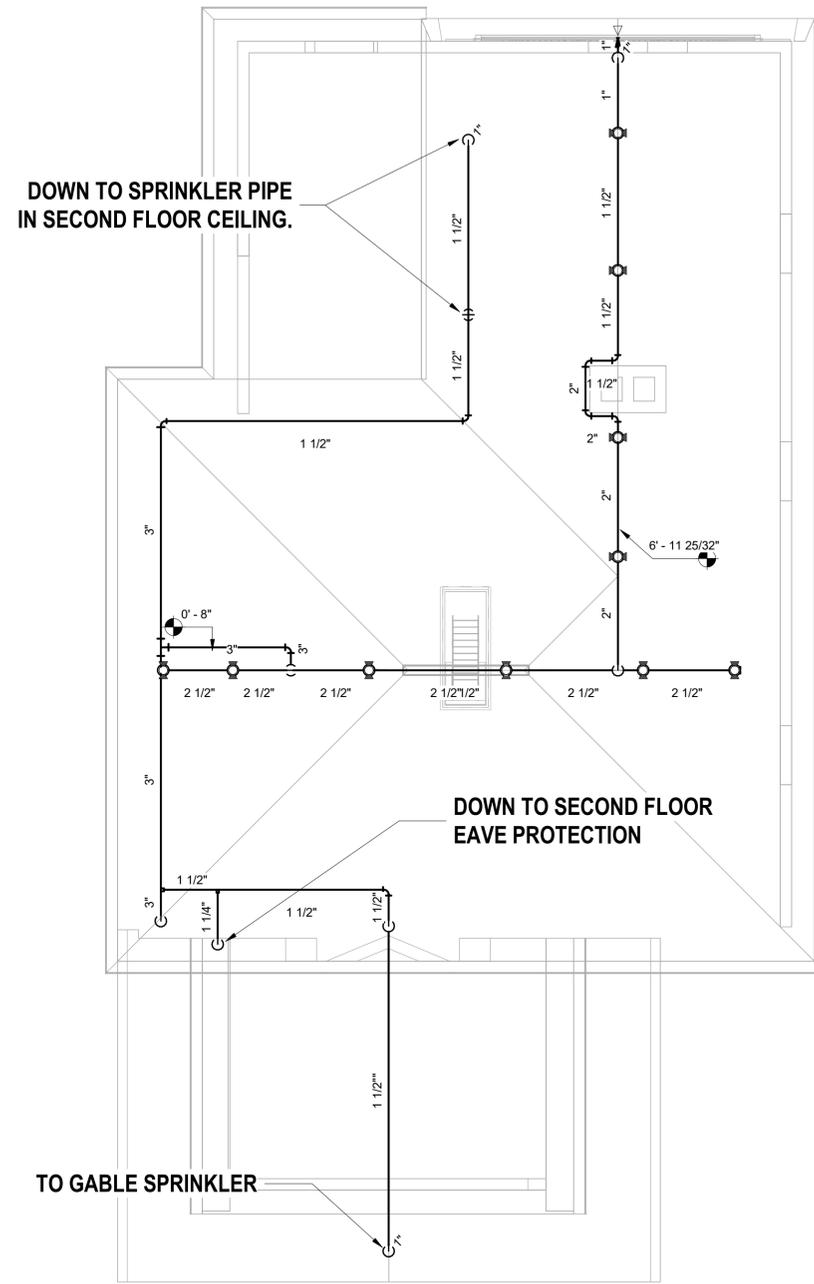
DRAWING NO.
489
177713
PMIS/PKG NO.
160151
SHEET
16 OF **21**

FIRE PROTECTION NOTES

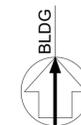
1. SEE SHEET FX106 FOR FIRE PROTECTION NOTES AND DETAILS.

FIRE PROTECTION LEGEND

-  FIRE DEPARTMENT CONNECTION
-  RECESSED DRY PENDENT SPRINKLER
-  UPRIGHT SPRINKLER
-  HORIZONTAL SIDEWALL SPRINKLER
-  UPRIGHT ATTIC SPRINKLER



1 ATTIC - FIRE PROTECTION PLAN



A/E FIRM
CROFT & ASSOCIATES
 KENNESAW, GEORGIA

DESIGNED:
 JOK
 TECH REVIEW:
 DWF
 DATE:
 01/26/2022

SUB SHEET NO.
FX103

LOCATION WITHIN PARK
 497 AUBURN AVENUE, ATLANTA, GA
 TITLE OF SHEET
ATTIC FIRE PROTECTION PLAN
 MARTIN LUTHER KING, JR. NATIONAL HISTORICAL PARK

DRAWING NO.
489
 177713
 PMIS/PKG NO.
 160151
 SHEET
17 OF **21**

FIRE PROTECTION LEGEND

- ☐ FIRE DEPARTMENT CONNECTION
- RECESSED DRY PENDENT SPRINKLER
- UPRIGHT SPRINKLER
- ▽ HORIZONTAL SIDEWALL SPRINKLER
- ⊠ UPRIGHT ATTIC SPRINKLER

FIRE PROTECTION NOTES

1. SEE SHEET FX106 FOR FIRE PROTECTION NOTES AND DETAILS.



1 WEST ELEVATION



2 SOUTH ELEVATION



2/4/2022 11:43:29 AM



A/E FIRM CROFT & ASSOCIATES KENNESAW, GEORGIA	DESIGNED: JOK	SUB SHEET NO. FX104	LOCATION WITHIN PARK 497 AUBURN AVENUE, ATLANTA, GA	DRAWING NO. 489
	TECH REVIEW: DWF		TITLE OF SHEET ELEVATIONS	PMIS/PKG NO. 160151
DATE: 01/26/2022			MARTIN LUTHER KING, JR. NATIONAL HISTORICAL PARK	SHEET 18 OF 21

FIRE PROTECTION LEGEND

-  FIRE DEPARTMENT CONNECTION
-  RECESSED DRY PENDENT SPRINKLER
-  UPRIGHT SPRINKLER
-  HORIZONTAL SIDEWALL SPRINKLER
-  UPRIGHT ATTIC SPRINKLER

FIRE PROTECTION NOTES

1. SEE SHEET FX106 FOR FIRE PROTECTION NOTES AND DETAILS.



1 EAST ELEVATION

2 NORTH ELEVATION



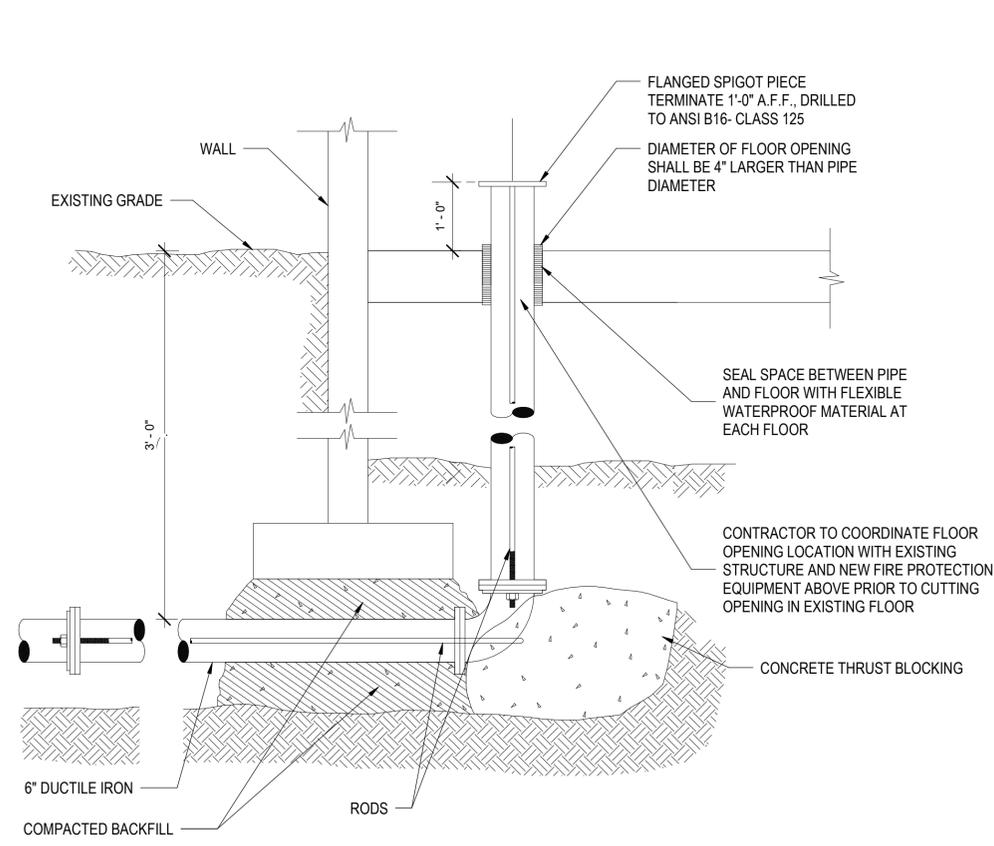
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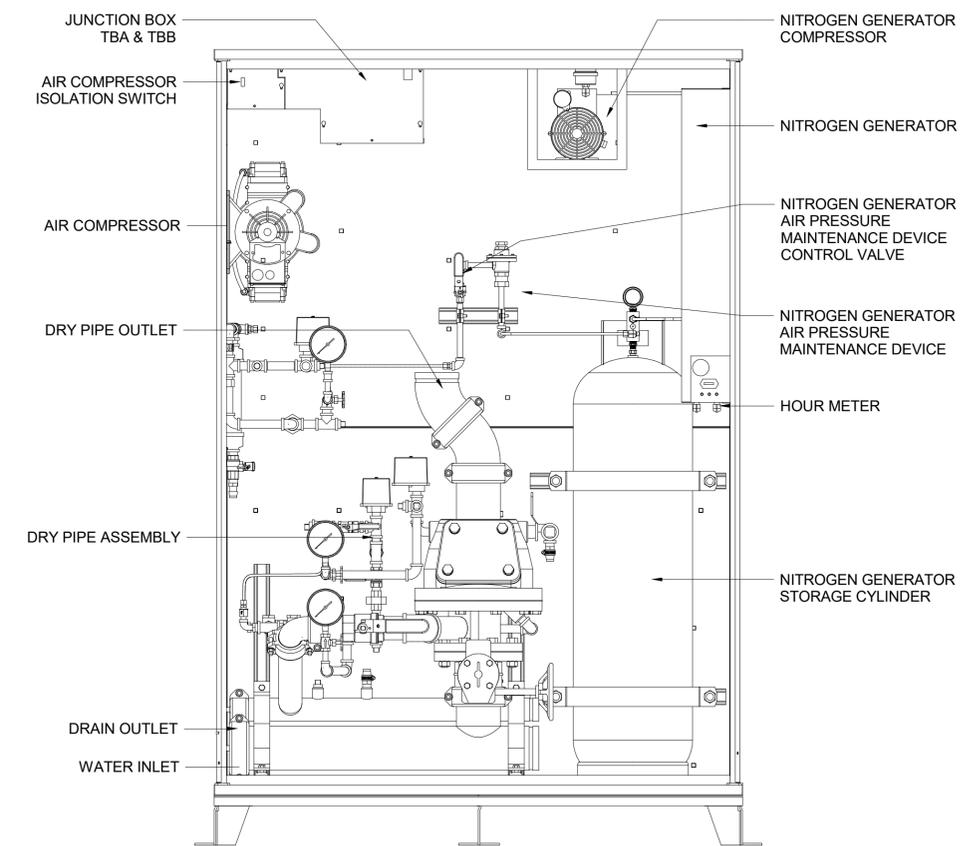
A/E FIRM CROFT & ASSOCIATES KENNESAW, GEORGIA	DESIGNED: JOK TECH REVIEW: DWF DATE: 01/26/2022	SUB SHEET NO. <div style="font-size: 2em; font-weight: bold; text-align: center;">FX105</div>	LOCATION WITHIN PARK 497 AUBURN AVENUE, ATLANTA, GA TITLE OF SHEET <div style="font-size: 1.5em; font-weight: bold;">ELEVATIONS</div> MARTIN LUTHER KING, JR. NATIONAL HISTORICAL PARK	DRAWING NO. <div style="font-size: 1.2em; font-weight: bold;">489</div> 177713 PMIS/PKG NO. 160151 SHEET 19 OF 21
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FIRE PROTECTION NOTES

1. THE CONTRACTOR SHALL DEVELOP SHOP DRAWINGS FOR A HYDRAULICALLY DESIGNED SYSTEM BASED ON THESE DRAWINGS. THE SYSTEM SHALL BE AN AUTOMATIC DRY PIPE FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13, THE SPECIFICATION AND THE SCOPE OF WORK DOCUMENTS FOR THE AREAS SHOWN ON THESE DRAWINGS. SPRINKLER PIPE ROUTING, PIPE SIZE, AND SPRINKLER LOCATIONS HAVE BEEN APPROVED BY NPS AND SHALL BE FOLLOWED. ANY DEVIATIONS SHALL BE APPROVED BY NPS PRIOR TO SHOP DRAWING APPROVAL. PROVIDE A SELF-CONTAINED DRY PIPE VALVE AND NITROGEN GENERATOR SYSTEM IN A SINGLE MANUFACTURER SUPPLIED CABINET.
2. PIPE AND SPRINKLER LAYOUT, SIZES AND ROUTING HAVE BEEN COORDINATED WITH NPS AND SHALL BE FOLLOWED. THE CONTRACTOR SHALL VERIFY PIPING AND SPRINKLER LOCATIONS IN THE FIELD PRIOR TO INSTALLATION. ANY DEVIATIONS FROM APPROVED PIPE ROUTING, PIPE SIZE OR SPRINKLER LOCATION SHALL BE APPROVED BY NPS PRIOR TO INSTALLATION.
3. CONTRACTOR SHALL PROVIDE ALL NECESSARY AUXILIARY DRAINS AND INSPECTORS' TEST CONNECTIONS AS REQUIRED BY NFPA 13. INSPECTORS' TEST CONNECTIONS SHALL BE LOCATED AT THE MOST REMOTE BRANCH LINE. INSPECTORS' TEST CONNECTIONS DRAINS SHALL DISCHARGE TO A SAFE LOCATION OUTSIDE THE BUILDING.
4. CONTRACTOR SHALL PROVIDE ALL NECESSARY PIPE HANGERS AND SUPPORTS AS REQUIRED BY NFPA 13.
5. ALL WATERFLOW SWITCHES SHALL BE CONNECTED TO THE FIRE ALARM SYSTEM BY THE FIRE ALARM CONTRACTOR.
6. ALL VALVES CONTROLLING WATERFLOW TO THE SPRINKLER SYSTEM SHALL BE PROVIDED WITH TAMPER SWITCHES TO BE CONNECTED TO THE FIRE ALARM SYSTEM BY THE CONTRACTOR.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL CONFLICTS WITH LIGHTING FIXTURES, DIFFUSERS, GRILLS, DUCTS, CABLE TRAYS, CABLE BUNDLES, CONDUIT, UTILITY PIPING AND ALL OTHER OBSTRUCTIONS ENCOUNTERED.
8. CONTRACTOR SHALL VERIFY ELEVATIONS AND LOCATIONS OF NEW SPRINKLER PIPING AND EQUIPMENT PRIOR TO INSTALLATION.
9. CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP THE PREMISES DRY AT ALL TIMES AND TO PREVENT WATER DAMAGE. CONTRACTOR SHALL REPAIR WATER DAMAGE RESULTING FROM THE WORK, WHETHER INTENTIONAL OR NOT, AT NO COST TO, AND TO THE SATISFACTION OF THE OWNER.
10. NEITHER THE OWNER NOR THE ENGINEER SHALL BE RESPONSIBLE FOR PROVIDING A SAFE WORKING PLACE FOR THE CONTRACTOR, SUBCONTRACTORS, OR THEIR EMPLOYEES, OR ANY OTHER INDIVIDUAL RESPONSIBLE TO THEM FOR THE WORK. THIS RESPONSIBILITY RESTS SOLELY ON THE CONTRACTOR'S PROJECT SUPERINTENDENT.
11. ALL PIPING IN AREAS WITH SUSPENDED CEILINGS SHALL BE CONCEALED ABOVE CEILINGS. ALL EXPOSED PIPE SHALL BE PAINTED AND/OR LABELED IN ACCORDANCE WITH THE SPECIFICATION.
12. PAINT ALL SPRINKLER PIPING THAT IS EXPOSED TO VIEW SAME COLOR AS ADJACENT MATERIAL (COLOR MATCHED). WHERE MORE THAN ONE ADJACENT MATERIAL COLOR EXISTS, CONFIRM COLOR WITH CONTRACTING OFFICER.
13. SPRINKLER AND ESCUTCHEON SHALL BE FACTORY PAINTED WHITE IN FINISHED AREAS. SPRINKLER SHALL BE ROUGH BRASS IN UNFINISHED AREAS.



1 LEAD-IN DETAIL



2 DRY-PIPE RISER DETAIL

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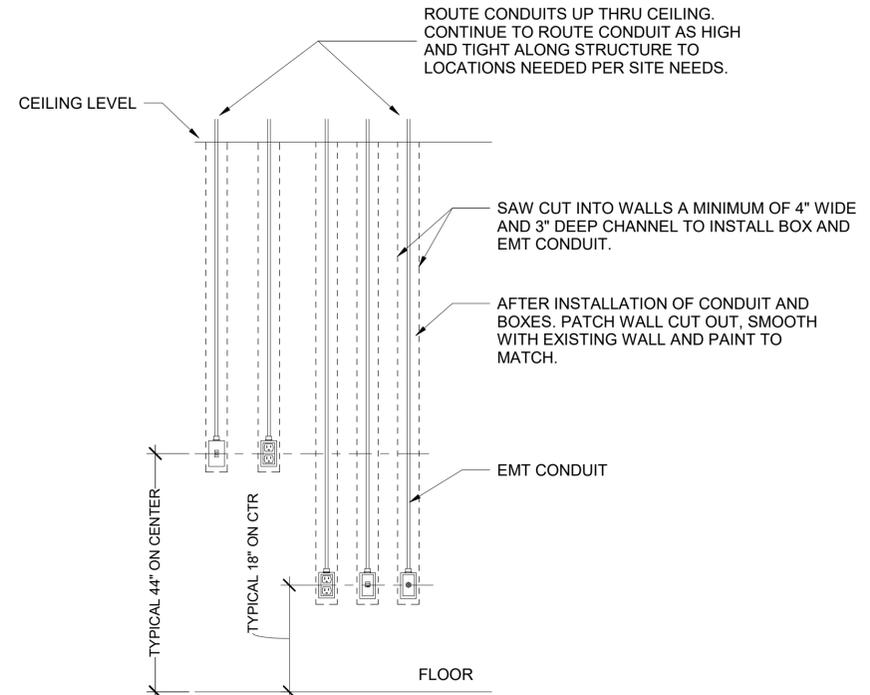
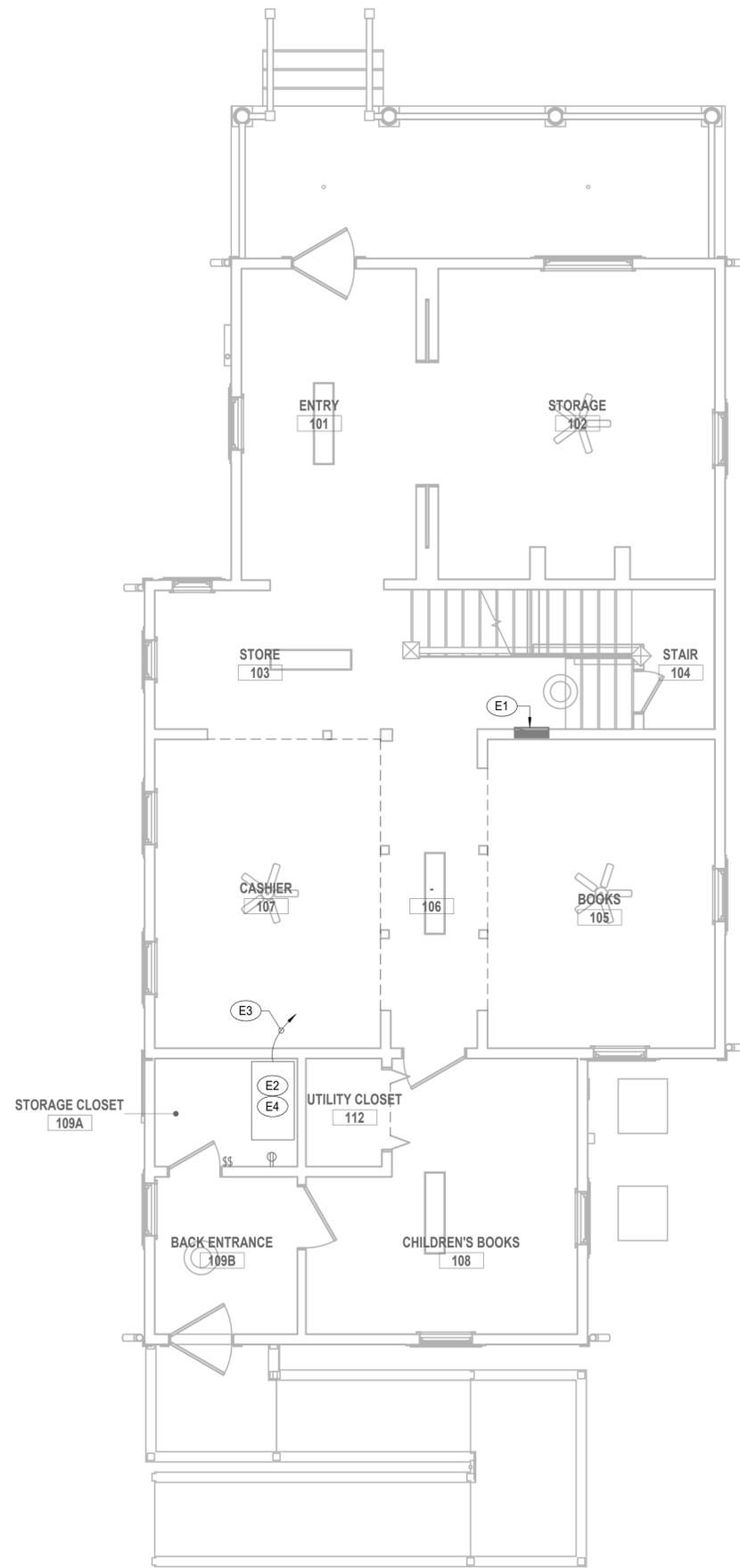
A/E FIRM
CROFT & ASSOCIATES
KENNESAW, GEORGIA

DESIGNED:
JOK
TECH REVIEW:
DWF
DATE:
01/26/2022

SUB SHEET NO.
FX106

LOCATION WITHIN PARK
497 AUBURN AVENUE, ATLANTA, GA
TITLE OF SHEET
DETAILS
MARTIN LUTHER KING, JR. NATIONAL HISTORICAL PARK

DRAWING NO.
489
177713
PMIS/PKG NO.
160151
SHEET
20 OF **21**



2 NEW DEVICE IN EXISTING WALL INSTALLATION (TYPICAL)
E101

GENERAL NOTES:

- A. ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATIONS AND ELECTRICAL REQUIREMENTS OF FIRE PROTECTION EQUIPMENT WITH THE FIRE PROTECTION CONTRACTORS PRIOR TO ORDERING ANY MATERIAL OR PERFORMING ANY WORK ASSOCIATED WITH SUCH EQUIPMENT.
- B. NEW FIRE SUPPRESSION SYSTEM SHALL CONNECT TO AND INTERFACE WITH EXISTING MONITORING/ALERT SYSTEM FOR MONITORING AND REPORTING OF SYSTEM STATUS. PROVIDE ADDRESSABLE CONNECTIONS FROM EXISTING MONITORING/ALERT SYSTEM TO FIRE SUPPRESSION RELAY(S) BASED ON EQUIPMENT SPECIFICATIONS.
- C. NO EXPOSED CONDUIT SHALL BE PERMISSIBLE FOR NEW ELECTRICAL CONNECTIONS. CONCEAL ALL CONDUIT WITHIN WALLS OR CEILING. PATCH AND PAINT WALLS AND CEILING AS NECESSARY TO MATCH SURROUNDING AFTER INSTALLATION. SEE DETAIL 2/E101.
- D. EXISTING DEVICES AND FIXTURES ARE SHOWN (HALFTONED) FOR CONTRACTOR REFERENCE AND COORDINATION WITH NEW WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL FIELD VERIFICATION OF ALL EXISTING DEVICES AND FIXTURES AND COORDINATION WITH THESE ITEMS DURING DEMOLITION AND/OR INSTALLATION OF NEW WORK. SEE ARCHITECTURAL RCP A131 AND FIRE PROTECTION NOTES ON SHEET FX106.

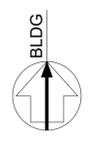
FIRST FLOOR PLAN ELECTRICAL KEYNOTES

- E1 EXISTING RECESSED ELECTRICAL PANEL.
- E2 NEW FIRE SUPPRESSION CONTROLLER CABINET. COORDINATE LOCATION WITH FIRE PROTECTION DRAWING FX101 AND APPROVAL BY CONTRACTING OFFICER.
- E3 PROVIDE (1) NEW 120V-20A DEDICATED CIRCUIT FROM EXISTING RECESSED PANEL FOR CONNECTION OF FIRE SUPPRESSION CONTROLLER CABINET. PROVIDE NEW 20A, 1-POLE CIRCUIT BREAKER WITH LOCK IN EXISTING RECESSED PANEL FOR NEW CIRCUIT. NEW CIRCUIT BREAKER SHALL BE LOCKED OUT BY UNIVERSAL CIRCUIT BREAKER LOCKOUT WITH PERMANENT RED COLOR TO IDENTIFY FIRE SUPPRESSION FEEDER CONNECTION. BRANCH CIRCUIT: (2) #12, (1) #12 GROUND IN 3/4" EMT CONDUIT. SEE DETAIL 2/E101.
- E4 PROVIDE (1) NEW 120V-20A DEDICATED CIRCUIT FROM EXISTING RECESSED PANEL FOR CONNECTION OF FIRE SUPPRESSION HEAT TRACE CONNECTION AS NOTED ON FIRE PROTECTION DRAWING FX100. PROVIDE NEW 20A, 1-POLE CIRCUIT BREAKER IN EXISTING RECESSED PANEL FOR NEW CIRCUIT. BRANCH CIRCUIT: (2) #12, (1) #12 GROUND IN 3/4" EMT CONDUIT. SEE DETAIL 2/E101.

ELECTRICAL SYMBOL LEGEND

	LIGHTING, POWER, DISTRIBUTION PANEL.
	BRANCH CIRCUIT OR FEEDER: CONCEALED IN CONSTRUCTION IN FINISHED AREAS, EXPOSED IN UNFINISHED AREAS.
	BRANCH CIRCUIT: WIRE TICK MARKS INDICATE NUMBER OF WIRES. NO TICK MARKS INDICATE MINIMUM (2) CONDUCTORS. GROUND WIRES NOT INDICATED.
	SINGLE POLE SWITCH, EXISTING (HALFTONED)
	120V DUPLEX RECEPTACLE, WALL MOUNTED, EXISTING (HALFTONED)

*NOT ALL SYMBOLS ARE USED ON PLANS.
**LISTED MOUNTING HEIGHTS ARE TO CENTER TO DEVICE.



1 HOUSE 497 - FIRST FLOOR ELECTRICAL PLAN
E101



A/E FIRM
CROFT & ASSOCIATES
KENNESAW, GEORGIA

DESIGNED:
P.DAVIS
P.DAVIS
TECH REVIEW:
R.RAHN
DATE:
01/26/2022

SUB SHEET NO.
E101

LOCATION WITHIN PARK
497 AUBURN AVENUE, ATLANTA, GA
TITLE OF SHEET
FIRST FLOOR ELECTRICAL PLAN
MARTIN LUTHER KING, JR. NATIONAL HISTORICAL PARK

DRAWING NO.
489
177713
PMIS/PKG NO.
160151
SHEET
21 OF **21**

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