

**SOURCES SOUGHT NOTICE: 36C25023R0064**

**SAM.gov Notice: 36C25023R0064**

**The U.S. Department of Veterans Affairs (VA) Seeks Expressions of Interest for 19,148 American National Standards Institute/Building Owners & Managers Association (ANSI/ABOA) in Zanesville, Ohio.**

**Notice:** This advertisement is a notice of a potential opportunity. This advertisement **IS NOT A SOLICITATION**, nor is it a request for lease proposals. The purpose of this advertisement is to identify potential sources and suitable locations and is not limited to re-qualify or disqualify any potential offers. The Government **WILL NOT PAY** for any costs incurred as a result of this advertisement. The Government cannot provide any warranty, expressed or implied as to the accuracy, reliability or completeness of the contents of the furnished information within this advertisement; Government is under no obligation to respond to and is unable to answer any inquiries regarding this advertisement. The NAICS Code is 531120 Lessors of Nonresidential Buildings, and the small business size standard is \$30.0 million.

SDVOSB SET Aside

**Respondents are advised that the Government assumes NO responsibility to award a lease based upon responses to this advertisement.**

Contracting Office Address:

3140 Governor's Place Blvd Suite 210

Kettering, OH 45409

**Description:** The Department of Veterans Affairs seeks to lease approximately 19,148 ABOA SF and 100 parking space (16 of which SHALL be handicap) for use by the VA as VA Clinic in the delineated area explained below within the Zanesville, Ohio area. The maximum rentable square feet is to be determined. VA will consider space located in an existing building as well as new construction or a building being constructed for multi-tenant use. A build-to-suit may be considered. Space offered that may disrupt or interfere with current VA use or VA Patient Services may not be considered.

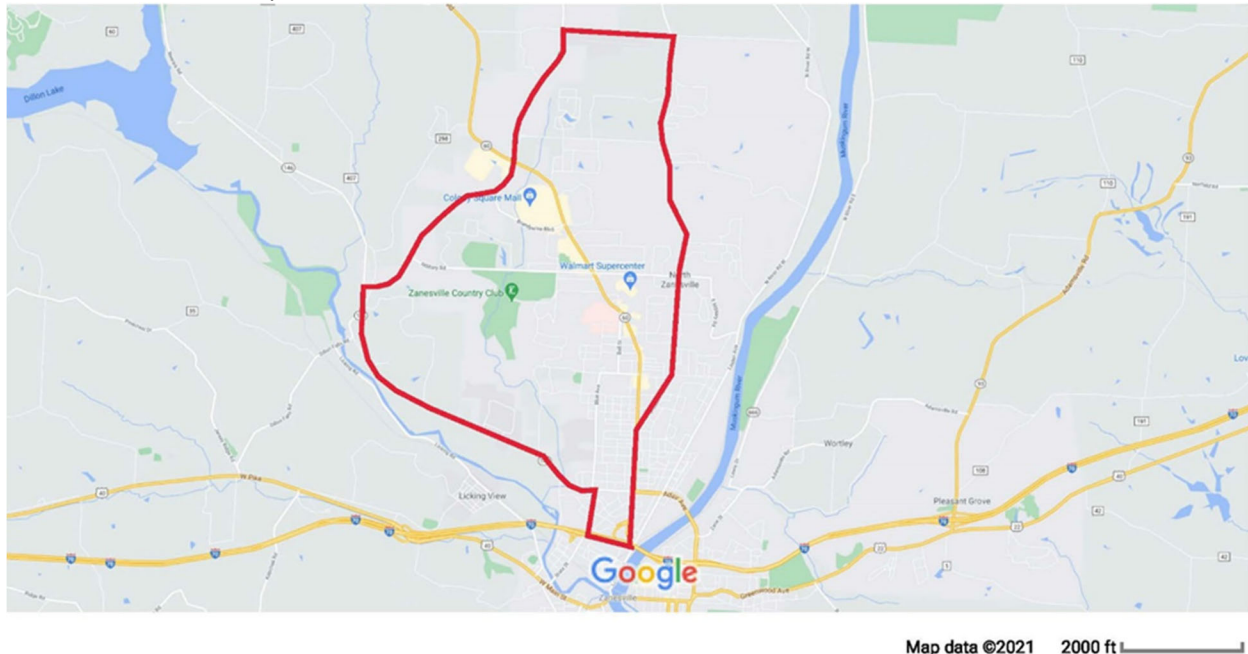
ABOA is generally defined as the space remaining once common areas, lessor areas and non-programmatic areas required by code are deducted from the rentable square feet of the facility. ABOA does not include areas such as stairs, elevators, mechanical and utility rooms, ducts, shafts, vestibules, public corridors and public toilets required by local code.

VA will provide detailed definitions, should a request for lease proposal be issued for this project.

**Lease Term:** Not to exceed 20 years

**Delineated Area:** To receive consideration, submitted properties must be located within the following area description below, which is bound by the following roads or must front on any of the following boundary lines:

North: Fairview Road  
South: I-70  
East: Maple Ave., Dresden Road  
West: Northpointe Drive, Newark Road, Old Newark Road



See the below delineated area map for further clarification of the boundaries of the delineated area.

**Additional Requirements for Submissions:**

- (1) Offered space must be located on first floor
- (2) Bifurcated sites, inclusive of parking are not permissible
- (3) The following space configurations will not be considered: Space with atriums, extremely long or narrow runs of space (more than twice as long as wide), irregularly shaped space configurations or other unusual building features adversely affecting usage
- (4) Column size cannot exceed two (2) feet square and space between columns and/or walls cannot be less than twenty (20') feet
- (5) Offered space CANNOT be located in FEMA 100-year flood plain
- (6) Offered space must be zoned for VA's intended use by the time initial offers are due
- (7) Offered space will not be considered if located in close proximity to property with incompatible uses, including but not limited to the following uses: liquor establishments, dispensaries, treatment centers, correctional facilities, where firearms are sold/discharged, railroad tracks or within flight paths as determined by the LCO
- (8) Offered space will not be considered if located in close proximity to residential or industrial areas as determined by the LCO
- (9) Space will not be considered where apartment space or other living quarters are located within the same building
- (10) Offered space must be easily accessible to multiple highways which provide multiple routes of travel as determined by the LCO

- (11) It is preferred that offered space be located in close proximity to a hospital or stand-alone emergency room center and a fire department as determined by the LCO
- (12) It is preferred that offered space be located in close proximity to public transportation as determined by the LCO
- (13) Structured parking under the space is not permissible
- (14) Offered space must meet Federal and Local Government requirements for fire safety, physical security, accessibility, seismic and sustainability standards per the terms of the request for lease proposal (if this notice results in a request for lease proposal)
- (15) A fully serviced lease is required
- (16) Offered space must be compatible for VA's intended use
- (17) Water, sewer and Fire Protection must be furnished by Zanesville Municipality