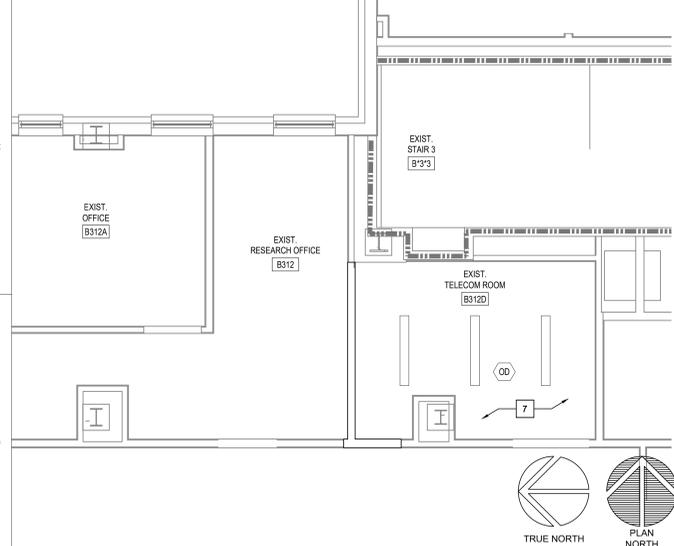
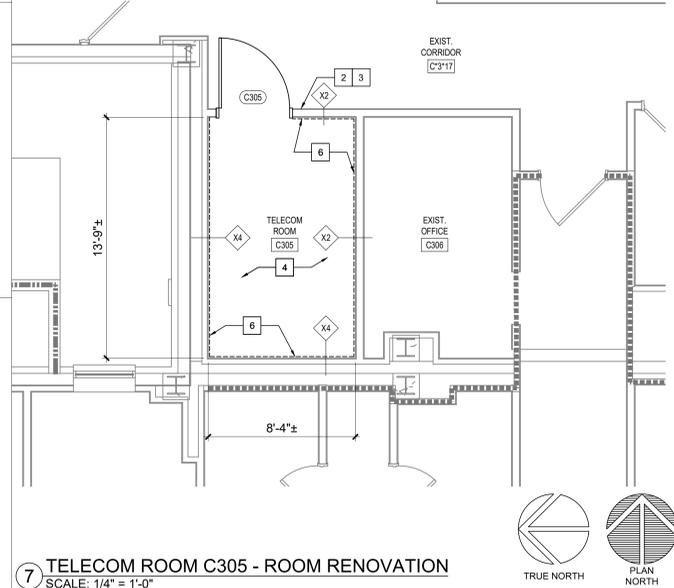


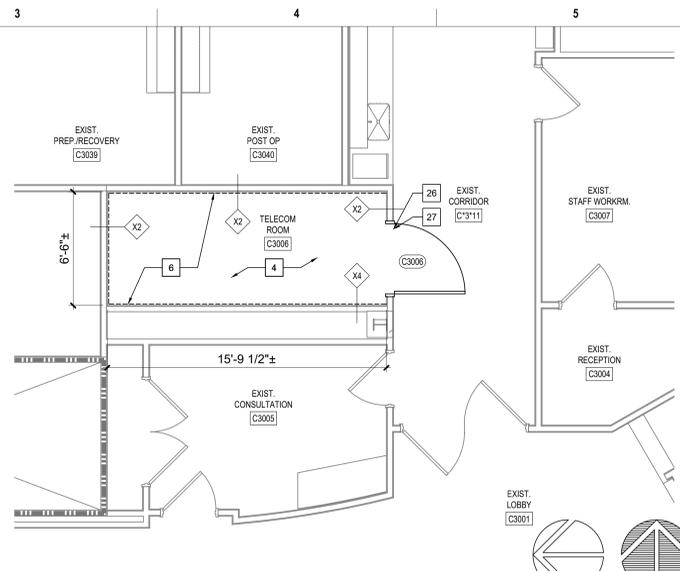
1 EXISTING TELECOM ROOM B312D - ROOM RENOVATION
SCALE: 1/4" = 1'-0"



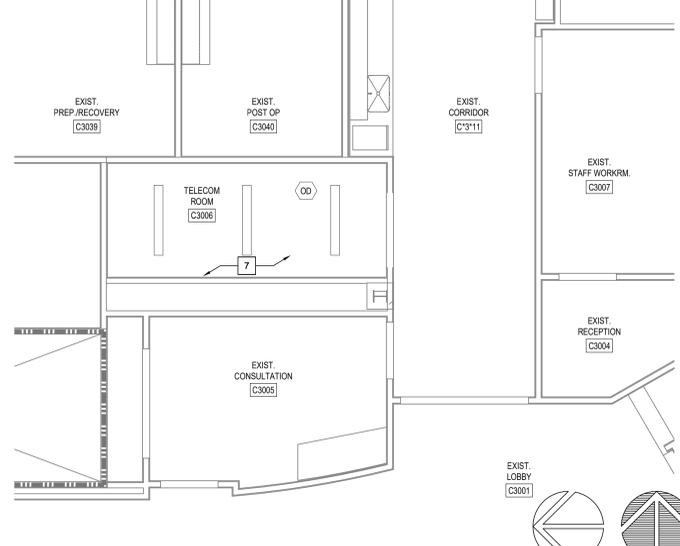
2 EXISTING TELECOM ROOM B312D - CEILING RENOVATION
SCALE: 1/4" = 1'-0"



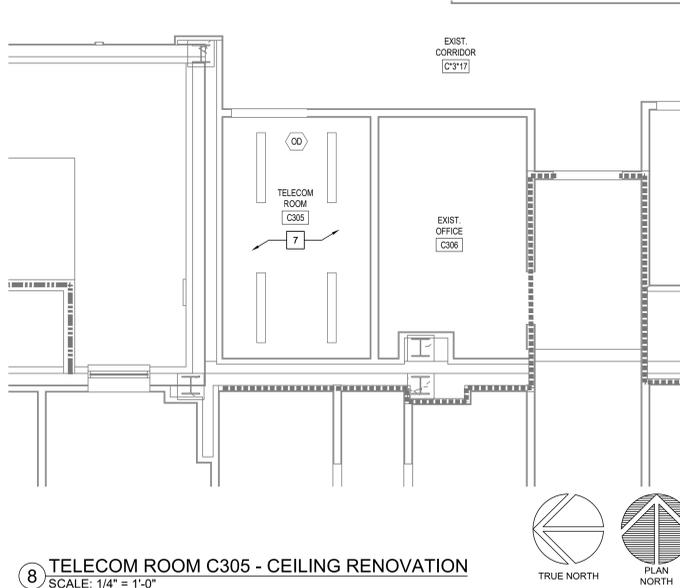
7 TELECOM ROOM C305 - ROOM RENOVATION
SCALE: 1/4" = 1'-0"



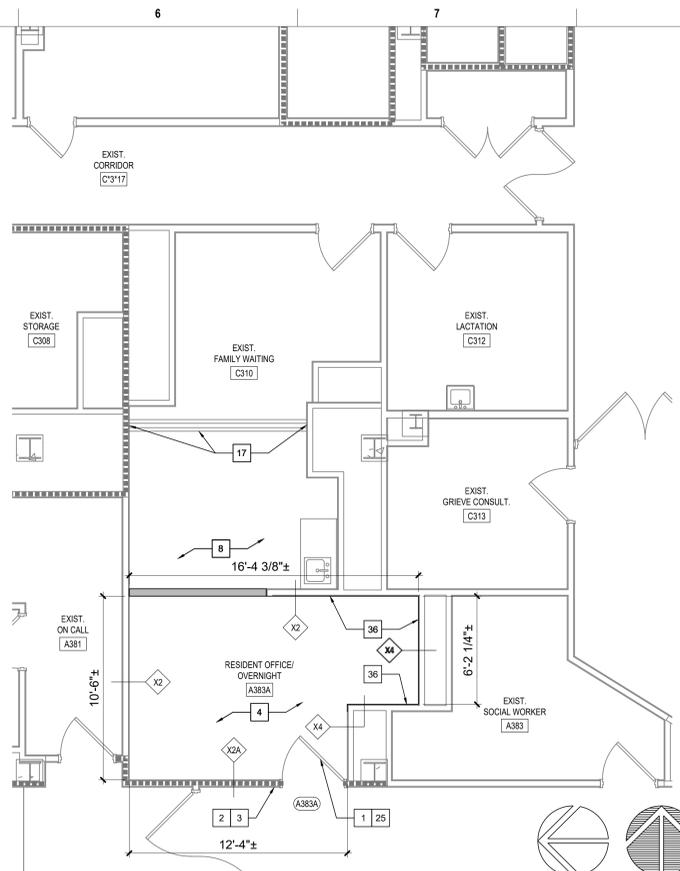
3 TELECOM ROOM C3006 - ROOM RENOVATION
SCALE: 1/4" = 1'-0"



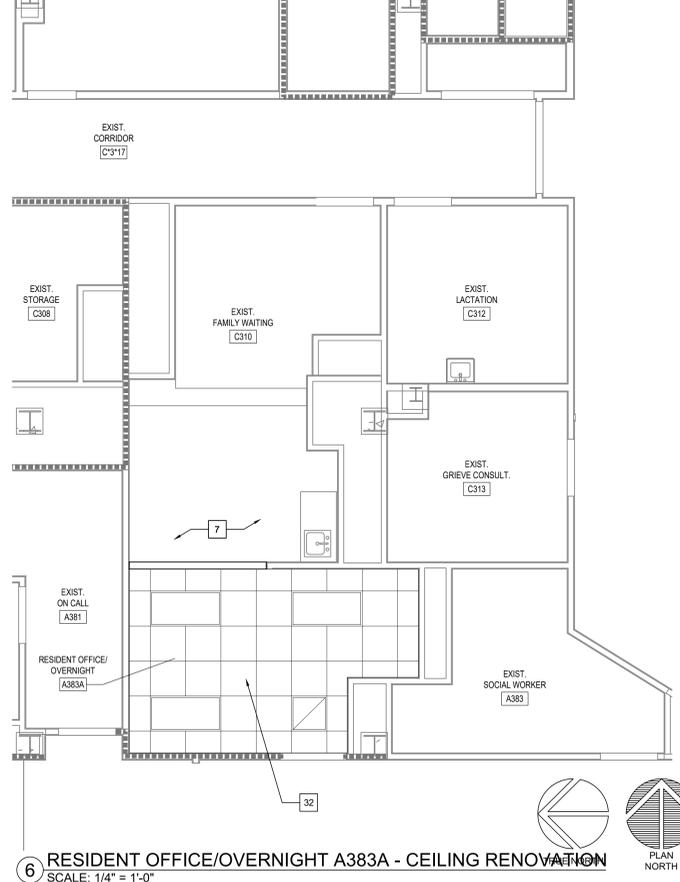
4 TELECOM ROOM C3006 - CEILING RENOVATION
SCALE: 1/4" = 1'-0"



8 TELECOM ROOM C305 - CEILING RENOVATION
SCALE: 1/4" = 1'-0"



5 RESIDENT OFFICE/OVERNIGHT A383A- ROOM RENOVATION
SCALE: 1/4" = 1'-0"



6 RESIDENT OFFICE/OVERNIGHT A383A - CEILING RENOVATION
SCALE: 1/4" = 1'-0"

KEYED NOTES - RENOVATION

- EXISTING DOOR/FRAME ASSEMBLY TO REMAIN.
- PROVIDE CARD READER.
- PROVIDE ROOM SIGNAGE.
- PROVIDE NEW FLOORING AND BASE AS SCHEDULED.
- REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE IN THIS ROOM THAT MAY REQUIRE MINOR DEMOLITION, PATCHING AND REPAIR OF EXISTING FLOOR SUBSTRATE, WALL OR MISCELLANEOUS ASSEMBLIES.
- PROVIDE 8"x4"x3/4" AC FACED FIRE-RATED PLYWOOD VERTICALLY ON ALL WALLS AS INDICATED. PAINT WITH 2 COATS MIN. FIRE-RATED PAINT. COORDINATE EXACT LOCATION A.F.F. WITH TECHNOLOGY AND ELECTRICAL DRAWINGS AND EXISTING CONDITIONS.
- REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE OF EXISTING AND NEW COMPONENTS AT CEILING LEVEL.
- EXISTING FLOOR AND BASE TO REMAIN. REPAIR AS NECESSARY TO MATCH EXISTING CONDITIONS OR BETTER.
- EXISTING VCT FLOORING AND RUBBER BASE TO REMAIN.
- LIMITED RENOVATION TO EXISTING CEILING ASSEMBLY PER MEP AND TECHNOLOGY DRAWINGS WORK SCOPE.
- RELOCATED EXISTING MARKER BOARD.
- RELOCATED EXISTING MILLWORK.
- CEILING FUR-DOWN ABOVE.
- NEW GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO MATCH EXISTING HEIGHT. NO JOINTS UNLESS NOTED OTHERWISE.
- RELOCATED EXISTING LIGHT FIXTURE.
- RELOCATED EXISTING TV MONITOR.
- EXISTING ALUMINUM FLOOR AND WALL (EACH SIDE) EXPANSION JOINT COVERS TO REMAIN.
- EXISTING GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO REMAIN.
- RELOCATED EXISTING FIRE EXTINGUISHER.
- EXISTING EXTERIOR WINDOW TO REMAIN.
- REINSTALL EXISTING SALVAGED WOOD BASE AND CHAIR RAIL. PROVIDE BALANCE OF MATERIAL AS NEEDED TO COMPLETE JOB. PAINT ALL BASE AND CHAIR RAIL IN ENTIRE ROOM.
- EXISTING PLASTER ON CMU TO UNDERSIDE OF EXISTING STRUCTURE (4" OR 8" CMU PER WALL THICKNESS DEPICTED GRAPHICALLY). FIRE-RATED WALL. CONTRACTOR VERIFY.
- EXISTING ROOM SIGNAGE.
- EXISTING CARD READER.
- REFERENCE DOOR SCHEDULE.
- PAINT INTERIOR SIDE OF EXISTING WINDOW GLAZING ONLY "FLAT BLACK".
- REINSTALLED EXISTING ROOM SIGNAGE.
- REINSTALLED EXISTING CARD READER.
- PLASTER ASSEMBLY INFILL AT EXISTING WALL AS DETAILED AT EXISTING WINDOW OPENING.
- ENSURE EXISTING WALL VENT IS SECURELY CLOSED SHUT PRIOR TO COVER-UP.
- PROVIDE WALL PROTECTION TO MATCH EXISTING.
- PROVIDE NEW CEILING AS SCHEDULED.
- PROVIDE GYPSUM BOARD/STEEL STUD FRAMED FUR-DOWN AS DETAILED.
- PROVIDE 2" X 2" RAISED FLOOR SYSTEM AT 10" ABOVE THE 4TH FLOOR LEVEL.
- ELECTRICAL CONDUITS AND MECHANICAL PIPING PER MEP DRAWINGS.
- PROVIDE 5/8" GYPSUM BOARD WHERE EXISTING TILE WAINSCOT AND SUBSTRATE WAS REMOVED. TEXTURE AND FINISH TO MATCH EXISTING ADJACENT WALLS (4'-0"± HIGH, LOCATE AS INDICATED BY HEAVY LINE).
- TEXTURE AND FINISH EXISTING GYPSUM BOARD SUBSTRATE TO MATCH EXISTING ADJACENT WALLS.
- GYPSUM BOARD ASSEMBLY INFILL AS DETAILED AT EXISTING WINDOW OPENING.
- PROVIDE INFILL PER KEYED NOTE 29 AT VOID LEFT BY HEATER REMOVED.
- PROVIDE 1" THICK MINIMUM CONCRETE INFILL FLUSH WITH EXISTING CONCRETE TOPPING WHERE PORTIONS OF EXISTING CMU WALLS ARE REMOVED.
- PROVIDE PAINTED WOOD CHAIR RAIL TO MATCH EXISTING.
- REINSTALLED EXISTING SHELF.
- PROVIDE GYPSUM BOARD/METAL STUD FRAMED CHASE FROM FLOORS ABOVE. MINIMIZE SIZE AND REFERENCE MEP DRAWINGS FOR COMPONENTS TO BE IN CHASE.
- RAMP AND RAILS BY RAISED FLOOR SYSTEM MANUFACTURER.
- ROOM PERIMETER WALLS TO BE FULLY SEALED TOP AND BOTTOM ON BOTH SIDES OF WALL. EXTERIOR WALL SEAL INTERIOR SIDE ONLY.

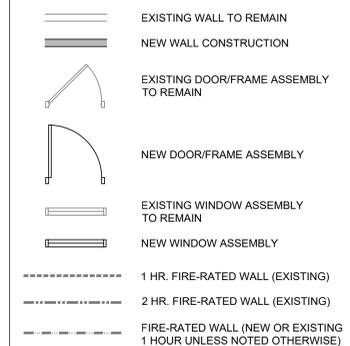
GENERAL NOTES - RENOVATION

- REFERENCE GENERAL NOTES ON SHEET GI-004.
- UNLESS NOTED OTHERWISE, ALL EXISTING WALLS ARE 5/8" GYPSUM BOARD/3/8" METAL STUD FRAMED TO UNDERSIDE OF PRIMARY BUILDING FRAMING STRUCTURE (1 HR. FIRE RATED - CONSTRUCTION SIMILAR TO U.I. DESIGN NO. U465). CONTRACTOR TO VERIFY.
- UNLESS NOTED OTHERWISE, ALL EXISTING DOOR ASSEMBLIES ARE SOLID CORE WOOD DOORS/HOLLOW METAL FRAME TYPICAL (3'-0" X 7'-0").
- UNLESS NOTED OTHERWISE ALL EXISTING LAY-IN CEILING ASSEMBLIES ARE 2" X 2" STANDARD GRID WITH FISSURED TILES AT 8'-0" A.F.F. TYPICAL.
- UNLESS NOTED OTHERWISE, ALL EXISTING STEEL COLUMN FUR-OUTS ARE GYPSUM BOARD/METAL STUD FRAMED TYPICAL.
- PARTIAL OR ENTIRE RECONSTRUCTION OF SOME EXISTING CEILING ASSEMBLIES THROUGH OUT THE ENTIRE BUILDING(S), ESPECIALLY IN CORRIDORS, WILL BE NECESSARY. REFERENCE ALL DISCIPLINE DEMOLITION DRAWINGS. RECONSTRUCTION IS TO INCLUDE MISCELLANEOUS PATCHING /REPAIR TO MATCH EXISTING OR BETTER CONDITIONS.
- EXISTING FIRE-RATED WALL IDENTIFICATION INDICATED ONLY FOR IMMEDIATE AFFECTED ROOM WALLS. CONTRACTOR SHALL VERIFY FULL EXTENT OF EXISTING FIRE-RATED WALLS AT ADJACENT AREAS.
- ALL NEW WALLS SHALL BE PARTITION TYPE '1' UNLESS OTHERWISE NOTED.
- UNLESS NOTED OTHERWISE AT ALL ROOMS WHERE EXISTING LAY-IN CEILING IS REMOVED AND IS TO BECOME A "NO CEILING" ROOM, THE EXISTING GYPSUM BOARD ABOVE, PREVIOUSLY REMOVED CEILING IS TO BE FULLY TAPED, FLOATED, TEXTURED AND PAINTED TO MATCH EXISTING WALLS.

KEYED NOTES - RENOVATION (CONT.)

- TEMPORARY ALUMINUM RAMP BY CONTRACTOR TO BE RETURNED TO OWNER AT END OF JOB.
- MODULAR BRICK INFILL ON EXTERIOR TO MATCH EXISTING. TOOTH-IN AND MATCH MORTAR.

LEGEND - RENOVATION



Revisions:	Date:

CONSULTANT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com

PROJECT MANAGEMENT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com



Construction and Facilities Management

Drawing Title
ENLARGED FLOOR PLANS - 3RD FLOOR RENOVATION

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLERED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST., CINCINNATI, OH

Issue Date
4-MAY-2022

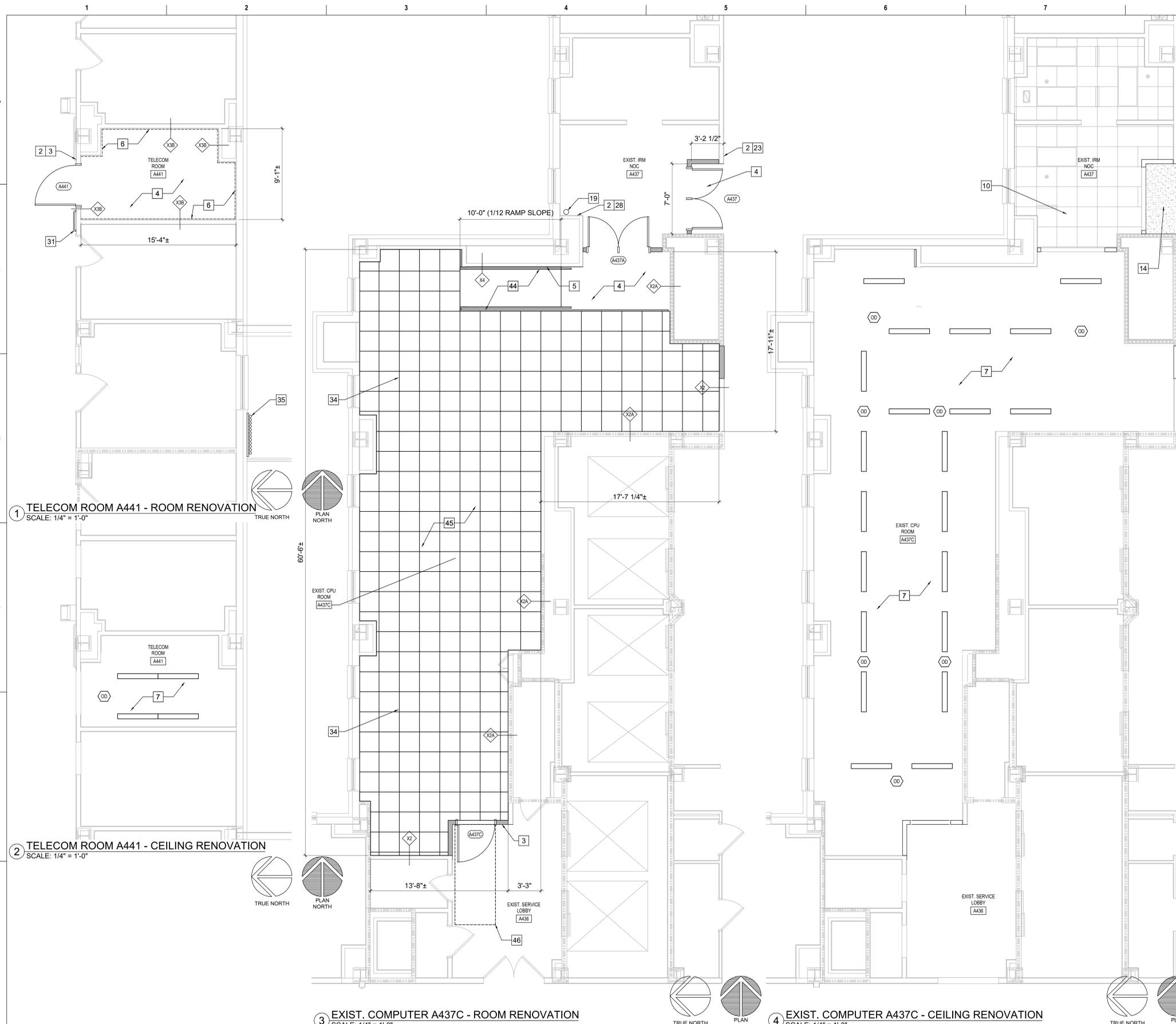
Checked

Drawn
IAR

Project Number
539-21-701

Building Number
C1

Drawing Number
AS-403-C.1.3

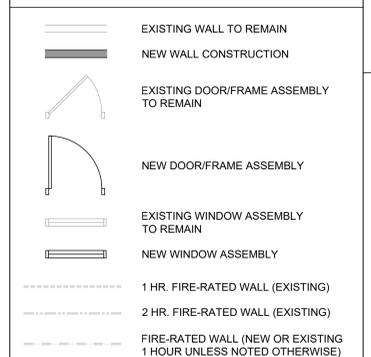


- | KEYED NOTES - RENOVATION | GENERAL NOTES - RENOVATION |
|---|---|
| 1. EXISTING DOOR/FRAME ASSEMBLY TO REMAIN. | 1. REFERENCE GENERAL NOTES ON SHEET GI-004. |
| 2. PROVIDE CARD READER. | 2. UNLESS NOTED OTHERWISE, ALL EXISTING WALLS ARE 5/8" GYPSUM BOARD/3 5/8" METAL STUD FRAMED TO UNDERSIDE OF PRIMARY BUILDING FRAMING STRUCTURE (1 HR. FIRE RATED - CONSTRUCTION SIMILAR TO U.I. DESIGN NO. U465). CONTRACTOR TO VERIFY. |
| 3. PROVIDE ROOM SIGNAGE. | 3. UNLESS NOTED OTHERWISE, ALL EXISTING DOOR ASSEMBLIES ARE SOLID CORE WOOD DOORS/HOLLOW METAL FRAME TYPICAL (3'-0" X 7'-0"). |
| 4. PROVIDE NEW FLOORING AND BASE AS SCHEDULED. | 4. UNLESS NOTED OTHERWISE ALL EXISTING LAY-IN CEILING ASSEMBLIES ARE 2' X 2' STANDARD GRID WITH FISSURED TILES AT 8'-0" A.F.F. TYPICAL. |
| 5. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE IN THIS ROOM THAT MAY REQUIRE MINOR DEMOLITION, PATCHING AND REPAIR OF EXISTING FLOOR SUBSTRATE, WALL OR MISCELLANEOUS ASSEMBLIES. | 5. UNLESS NOTED OTHERWISE, ALL EXISTING STEEL COLUMN FUR-OUTS ARE GYPSUM BOARD/METAL STUD FRAMED TYPICAL. |
| 6. PROVIDE 8'x4'x3/4" AC FACED FIRE-RATED PLYWOOD VERTICALLY ON ALL WALLS AS INDICATED. PAINT WITH 2 COATS MIN. FIRE-RATED PAINT. COORDINATE EXACT LOCATION A.F.F. WITH TECHNOLOGY AND ELECTRICAL DRAWINGS AND EXISTING CONDITIONS. | 6. PARTIAL OR ENTIRE RECONSTRUCTION OF SOME EXISTING CEILING ASSEMBLIES THROUGH OUT THE ENTIRE BUILDING(S), ESPECIALLY IN CORRIDORS, WILL BE NECESSARY. REFERENCE ALL DISCIPLINE DEMOLITION DRAWINGS. RECONSTRUCTION IS TO INCLUDE MISCELLANEOUS PATCHING /REPAIR TO MATCH EXISTING OR BETTER CONDITIONS. |
| 7. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE OF EXISTING AND NEW COMPONENTS AT CEILING LEVEL. | 7. EXISTING FIRE-RATED WALL IDENTIFICATION INDICATED ONLY FOR IMMEDIATE AFFECTED ROOM WALLS. CONTRACTOR SHALL VERIFY FULL EXTENT OF EXISTING FIRE-RATED WALLS AT ADJACENT AREAS. |
| 8. EXISTING FLOOR AND BASE TO REMAIN. REPAIR AS NECESSARY TO MATCH EXISTING CONDITIONS OR BETTER. | 8. ALL NEW WALLS SHALL BE PARTITION TYPE '1' UNLESS OTHERWISE NOTED. |
| 9. EXISTING VCT FLOORING AND RUBBER BASE TO REMAIN. | 9. UNLESS NOTED OTHERWISE AT ALL ROOMS WHERE EXISTING LAY-IN CEILING IS REMOVED AND IS TO BECOME A "NO CEILING" ROOM, THE EXISTING GYPSUM BOARD ABOVE, PREVIOUSLY REMOVED CEILING IS TO BE FULLY TAPED, FLOATED, TEXTURED AND PAINTED TO MATCH EXISTING WALLS. |
| 10. LIMITED RENOVATION TO EXISTING CEILING ASSEMBLY PER MEP AND TECHNOLOGY DRAWINGS WORK SCOPE. | |
| 11. RELOCATED EXISTING MARKER BOARD. | |
| 12. RELOCATED EXISTING MILLWORK. | |
| 13. CEILING FUR-DOWN ABOVE. | |
| 14. NEW GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO MATCH EXISTING HEIGHT. NO JOINTS UNLESS NOTED OTHERWISE. | |
| 15. RELOCATED EXISTING LIGHT FIXTURE. | |
| 16. RELOCATED EXISTING TV MONITOR. | |
| 17. EXISTING ALUMINUM FLOOR AND WALL (EACH SIDE) EXPANSION JOINT COVERS TO REMAIN. | |
| 18. EXISTING GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO REMAIN. | |
| 19. RELOCATED EXISTING FIRE EXTINGUISHER. | |
| 20. EXISTING EXTERIOR WINDOW TO REMAIN. | |
| 21. REINSTALL EXISTING SALVAGED WOOD BASE AND CHAIR RAIL. PROVIDE BALANCE OF MATERIAL AS NEEDED TO COMPLETE JOB. PAINT ALL BASE AND CHAIR RAIL IN ENTIRE ROOM. | |
| 22. EXISTING PLASTER ON CMU TO UNDERSIDE OF EXISTING STRUCTURE (4" OR 8" CMU PER WALL THICKNESS DEPICTED GRAPHICALLY). FIRE-RATED WALL. CONTRACTOR VERIFY. | |
| 23. EXISTING ROOM SIGNAGE. | |
| 24. EXISTING CARD READER. | |
| 25. REFERENCE DOOR SCHEDULE. | |
| 26. PAINT INTERIOR SIDE OF EXISTING WINDOW GLAZING ONLY "FLAT BLACK". | |
| 27. REINSTALLED EXISTING ROOM SIGNAGE. | |
| 28. REINSTALLED EXISTING CARD READER. | |
| 29. PLASTER ASSEMBLY INFILL AT EXISTING WALL AS DETAILED AT EXISTING WINDOW OPENING. | |
| 30. ENSURE EXISTING WALL VENT IS SECURELY CLOSED SHUT PRIOR TO COVER-UP. | |
| 31. PROVIDE WALL PROTECTION TO MATCH EXISTING. | |
| 32. PROVIDE NEW CEILING AS SCHEDULED. | |
| 33. PROVIDE GYPSUM BOARD/STEEL STUD FRAMED FUR-DOWN AS DETAILED. | |
| 34. PROVIDE 2' X 2' RAISED FLOOR SYSTEM AT 10" ABOVE THE 4TH FLOOR LEVEL. | |
| 35. ELECTRICAL CONDUITS AND MECHANICAL PIPING PER MEP DRAWINGS. | |
| 36. PROVIDE 5/8" GYPSUM BOARD WHERE EXISTING TILE WAJNSCOT AND SUBSTRATE WAS REMOVED. TEXTURE AND FINISH TO MATCH EXISTING ADJACENT WALLS (4'-0"± HIGH, LOCATE AS INDICATED BY HEAVY LINE). | |
| 37. TEXTURE AND FINISH EXISTING GYPSUM BOARD SUBSTRATE TO MATCH EXISTING ADJACENT WALLS. | |
| 38. GYPSUM BOARD ASSEMBLY INFILL AS DETAILED AT EXISTING WINDOW OPENING. | |
| 39. PROVIDE INFILL PER KEYED NOTE 29 AT VOID LEFT BY HEATER REMOVED. | |
| 40. PROVIDE 1" THICK MINIMUM CONCRETE INFILL FLUSH WITH EXISTING CONCRETE TOPPING WHERE PORTIONS OF EXISTING CMU WALLS ARE REMOVED. | |
| 41. PROVIDE PAINTED WOOD CHAIR RAIL TO MATCH EXISTING. | |
| 42. REINSTALLED EXISTING SHELF. | |
| 43. PROVIDE GYPSUM BOARD/METAL STUD FRAMED CHASE FROM FLOORS ABOVE. MINIMIZE SIZE AND REFERENCE MEP DRAWINGS FOR COMPONENTS TO BE IN CHASE. | |
| 44. RAMP AND RAILS BY RAISED FLOOR SYSTEM MANUFACTURER. | |
| 45. ROOM PERIMETER WALLS TO BE FULLY SEALED TOP AND BOTTOM ON BOTH SIDES OF WALL. EXTERIOR WALL SEAL INTERIOR SIDE ONLY. | |

KEYED NOTES - RENOVATION (CONT.)

- 46. TEMPORARY ALUMINUM RAMP BY CONTRACTOR TO BE RETURNED TO OWNER AT END OF JOB.
- 47. MODULAR BRICK INFILL ON EXTERIOR TO MATCH EXISTING. TOOTH-IN AND MATCH MORTAR.

LEGEND - RENOVATION



Revisions:	Date:

CONSULTANT

HFS COMPANY

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com

PROJECT MANAGEMENT

HFS COMPANY

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com



Construction and Facilities Management

VA U.S. Department of Veterans Affairs

Drawing Title
ENLARGED FLOOR PLANS - FOURTH FLOOR - RENOVATION

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLERED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST., CINCINNATI, OH

Issue Date
4-MAY-2022

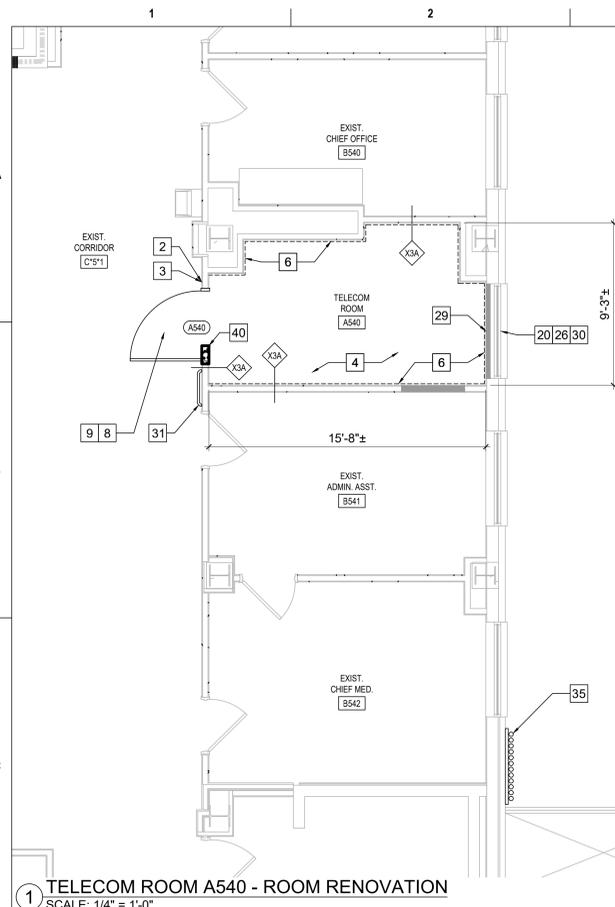
Checked
IAR, JFB

Drawn
IAR

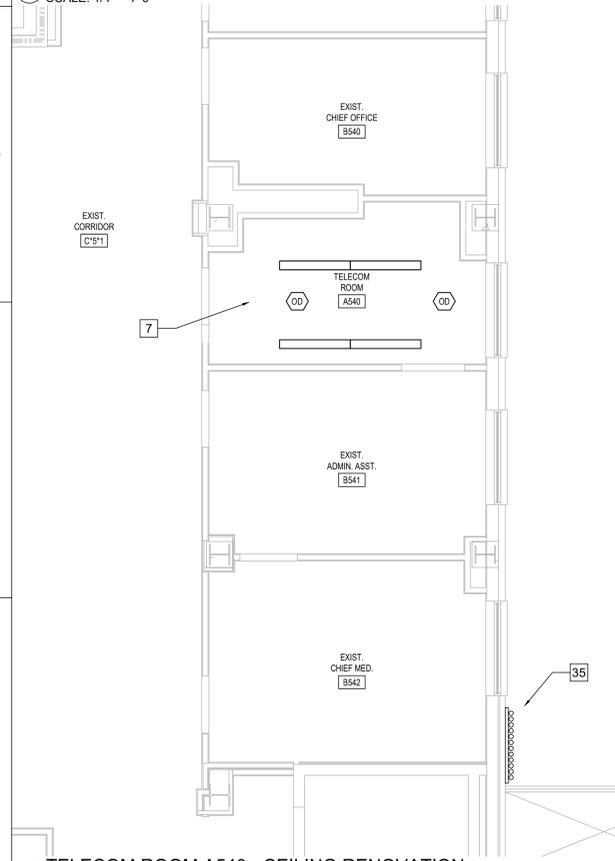
Project Number
539-21-701

Building Number
1

Drawing Number
AS-404-C.1.4



1 TELECOM ROOM A540 - ROOM RENOVATION
SCALE: 1/4" = 1'-0"



2 TELECOM ROOM A540 - CEILING RENOVATION
SCALE: 1/4" = 1'-0"

KEYED NOTES - RENOVATION

1. EXISTING DOOR/FRAME ASSEMBLY TO REMAIN.
2. PROVIDE CARD READER.
3. PROVIDE ROOM SIGNAGE.
4. PROVIDE NEW FLOORING AND BASE AS SCHEDULED.
5. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE IN THIS ROOM THAT MAY REQUIRE MINOR DEMOLITION, PATCHING AND REPAIR OF EXISTING FLOOR SUBSTRATE, WALL OR MISCELLANEOUS ASSEMBLIES.
6. PROVIDE 8"x4"x3/4" AC FACED FIRE-RATED PLYWOOD VERTICALLY ON ALL WALLS AS INDICATED. PAINT WITH 2 COATS MIN. FIRE-RATED PAINT. COORDINATE EXACT LOCATION A.F.F. WITH TECHNOLOGY AND ELECTRICAL DRAWINGS AND EXISTING CONDITIONS.
7. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE OF EXISTING AND NEW COMPONENTS AT CEILING LEVEL.
8. EXISTING FLOOR AND BASE TO REMAIN. REPAIR AS NECESSARY TO MATCH EXISTING CONDITIONS OR BETTER.
9. EXISTING VCT FLOORING AND RUBBER BASE TO REMAIN.
10. LIMITED RENOVATION TO EXISTING CEILING ASSEMBLY PER MEP AND TECHNOLOGY DRAWINGS WORK SCOPE.
11. RELOCATED EXISTING MARKER BOARD.
12. RELOCATED EXISTING MILLWORK.
13. CEILING FUR-DOWN ABOVE.
14. NEW GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO MATCH EXISTING HEIGHT. NO JOINTS UNLESS NOTED OTHERWISE.
15. RELOCATED EXISTING LIGHT FIXTURE.
16. RELOCATED EXISTING TV MONITOR.
17. EXISTING ALUMINUM FLOOR AND WALL (EACH SIDE) EXPANSION JOINT COVERS TO REMAIN.
18. EXISTING GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO REMAIN.
19. RELOCATED EXISTING FIRE EXTINGUISHER.
20. EXISTING EXTERIOR WINDOW TO REMAIN.
21. REINSTALL EXISTING SALVAGED WOOD BASE AND CHAIR RAIL. PROVIDE BALANCE OF MATERIAL AS NEEDED TO COMPLETE JOB. PAINT ALL BASE AND CHAIR RAIL IN ENTIRE ROOM.
22. EXISTING PLASTER ON CMU TO UNDERSIDE OF EXISTING STRUCTURE (4" OR 8" CMU PER WALL THICKNESS DEPICTED GRAPHICALLY). FIRE-RATED WALL. CONTRACTOR VERIFY.
23. EXISTING ROOM SIGNAGE.
24. EXISTING CARD READER.
25. REFERENCE DOOR SCHEDULE.
26. PAINT INTERIOR SIDE OF EXISTING WINDOW GLAZING ONLY "FLAT BLACK".
27. REINSTALLED EXISTING ROOM SIGNAGE.
28. REINSTALLED EXISTING CARD READER.
29. PLASTER ASSEMBLY INFILL AT EXISTING WALL AS DETAILED AT EXISTING WINDOW OPENING.
30. ENSURE EXISTING WALL VENT IS SECURELY CLOSED SHUT PRIOR TO COVER-UP.
31. PROVIDE WALL PROTECTION TO MATCH EXISTING.
32. PROVIDE NEW CEILING AS SCHEDULED.
33. PROVIDE GYPSUM BOARD/STEEL STUD FRAMED FUR-DOWN AS DETAILED.
34. PROVIDE 2' X 2' RAISED FLOOR SYSTEM AT 10" ABOVE THE 4TH FLOOR LEVEL.
35. ELECTRICAL CONDUITS AND MECHANICAL PIPING PER MEP DRAWINGS.
36. PROVIDE 5/8" GYPSUM BOARD WHERE EXISTING TILE WAINSCOT AND SUBSTRATE WAS REMOVED. TEXTURE AND FINISH TO MATCH EXISTING ADJACENT WALLS (4'-0"± HIGH. LOCATE AS INDICATED BY HEAVY LINE).
37. TEXTURE AND FINISH EXISTING GYPSUM BOARD SUBSTRATE TO MATCH EXISTING ADJACENT WALLS.
38. GYPSUM BOARD ASSEMBLY INFILL AS DETAILED AT EXISTING WINDOW OPENING.
39. PROVIDE INFILL PER KEYED NOTE 29 AT VOID LEFT BY HEATER REMOVED.
40. PROVIDE 1" THICK MINIMUM CONCRETE INFILL FLUSH WITH EXISTING CONCRETE TOPPING WHERE PORTIONS OF EXISTING CMU WALLS ARE REMOVED.
41. PROVIDE PAINTED WOOD CHAIR RAIL TO MATCH EXISTING.
42. REINSTALLED EXISTING SHELF.
43. PROVIDE GYPSUM BOARD/METAL STUD FRAMED CHASE FROM FLOORS ABOVE. MINIMIZE SIZE AND REFERENCE MEP DRAWINGS FOR COMPONENTS TO BE IN CHASE.
44. RAMP AND RAILS BY RAISED FLOOR SYSTEM MANUFACTURER.
45. ROOM PERIMETER WALLS TO BE FULLY SEALED TOP AND BOTTOM ON BOTH SIDES OF WALL. EXTERIOR WALL SEAL INTERIOR SIDE ONLY.

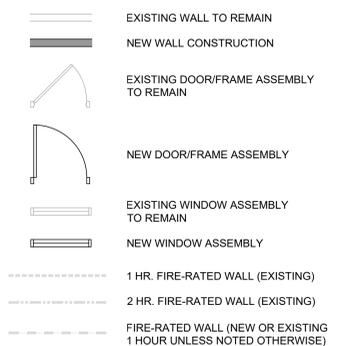
GENERAL NOTES - RENOVATION

1. REFERENCE GENERAL NOTES ON SHEET GI-004.
2. UNLESS NOTED OTHERWISE, ALL EXISTING WALLS ARE 5/8" GYPSUM BOARD/3 5/8" METAL STUD FRAMED TO UNDERSIDE OF PRIMARY BUILDING FRAMING STRUCTURE (1 HR. FIRE RATED - CONSTRUCTION SIMILAR TO U.I. DESIGN NO. U465). CONTRACTOR TO VERIFY.
3. UNLESS NOTED OTHERWISE, ALL EXISTING DOOR ASSEMBLIES ARE SOLID CORE WOOD DOORS/HOLLOW METAL FRAME TYPICAL (3'-0" X 7'-0").
4. UNLESS NOTED OTHERWISE ALL EXISTING LAY-IN CEILING ASSEMBLIES ARE 2' X 2' STANDARD GRID WITH FISSURED TILES AT 8'-0" A.F.F. TYPICAL.
5. UNLESS NOTED OTHERWISE, ALL EXISTING STEEL COLUMN FUR-OUTS ARE GYPSUM BOARD/METAL STUD FRAMED TYPICAL.
6. PARTIAL OR ENTIRE RECONSTRUCTION OF SOME EXISTING CEILING ASSEMBLIES THROUGH OUT THE ENTIRE BUILDING(S), ESPECIALLY IN CORRIDORS, WILL BE NECESSARY. REFERENCE ALL DISCIPLINE DEMOLITION DRAWINGS. RECONSTRUCTION IS TO INCLUDE MISCELLANEOUS PATCHING /REPAIR TO MATCH EXISTING OR BETTER CONDITIONS.
7. EXISTING FIRE-RATED WALL IDENTIFICATION INDICATED ONLY FOR IMMEDIATE AFFECTED ROOM WALLS. CONTRACTOR SHALL VERIFY FULL EXTENT OF EXISTING FIRE-RATED WALLS AT ADJACENT AREAS.
8. ALL NEW WALLS SHALL BE PARTITION TYPE '1' UNLESS OTHERWISE NOTED.
9. UNLESS NOTED OTHERWISE AT ALL ROOMS WHERE EXISTING LAY-IN CEILING IS REMOVED AND IS TO BECOME A "NO CEILING" ROOM, THE EXISTING GYPSUM BOARD ABOVE PREVIOUSLY REMOVED CEILING IS TO BE FULLY TAPED, FLOATED, TEXTURED AND PAINTED TO MATCH EXISTING WALLS.

KEYED NOTES - RENOVATION (CONT.)

46. TEMPORARY ALUMINUM RAMP BY CONTRACTOR TO BE RETURNED TO OWNER AT END OF JOB.
47. MODULAR BRICK INFILL ON EXTERIOR TO MATCH EXISTING. TOOTH-IN AND MATCH MORTAR.

LEGEND - RENOVATION



Revisions:	Date:

CONSULTANT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com

PROJECT MANAGEMENT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com



Construction and Facilities Management

Drawing Title
ENLARGED FLOOR PLAN - FIFTH FLOOR - RENOVATION

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLERED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST., CINCINNATI, OH

Issue Date
4-MAY-2022

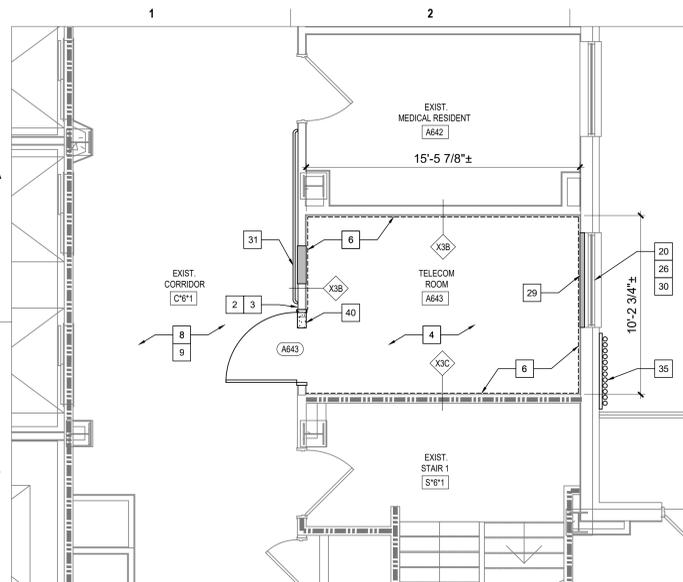
Checked
IAR, JFB

Drawn
IAR

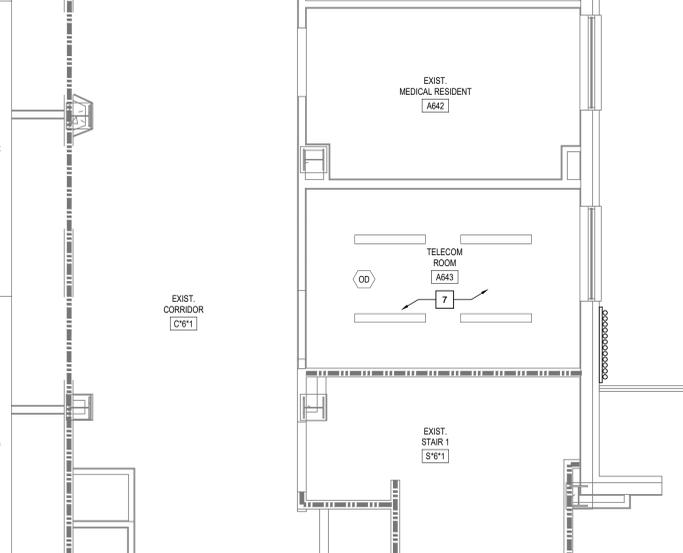
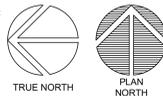
Project Number
539-21-701

Building Number
1

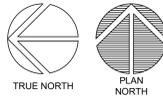
Drawing Number
AS-405-C.1.5



1 TELECOM ROOM A643 - ROOM RENOVATION
SCALE: 1/4" = 1'-0"



2 TELECOM ROOM A643 - CEILING RENOVATION
SCALE: 1/4" = 1'-0"



KEYED NOTES - RENOVATION

1. EXISTING DOOR/FRAME ASSEMBLY TO REMAIN.
2. PROVIDE CARD READER.
3. PROVIDE ROOM SIGNAGE.
4. PROVIDE NEW FLOORING AND BASE AS SCHEDULED.
5. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE IN THIS ROOM THAT MAY REQUIRE MINOR DEMOLITION, PATCHING AND REPAIR OF EXISTING FLOOR SUBSTRATE, WALL OR MISCELLANEOUS ASSEMBLIES.
6. PROVIDE 8"x4"x3/4" AC FACED FIRE-RATED PLYWOOD VERTICALLY ON ALL WALLS AS INDICATED. PAINT WITH 2 COATS MIN. FIRE-RATED PAINT. COORDINATE EXACT LOCATION A.F.F. WITH TECHNOLOGY AND ELECTRICAL DRAWINGS AND EXISTING CONDITIONS.
7. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE OF EXISTING AND NEW COMPONENTS AT CEILING LEVEL.
8. EXISTING FLOOR AND BASE TO REMAIN. REPAIR AS NECESSARY TO MATCH EXISTING CONDITIONS OR BETTER.
9. EXISTING VCT FLOORING AND RUBBER BASE TO REMAIN.
10. LIMITED RENOVATION TO EXISTING CEILING ASSEMBLY PER MEP AND TECHNOLOGY DRAWINGS WORK SCOPE.
11. RELOCATED EXISTING MARKER BOARD.
12. RELOCATED EXISTING MILLWORK.
13. CEILING FUR-DOWN ABOVE.
14. NEW GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO MATCH EXISTING HEIGHT. NO JOINTS UNLESS NOTED OTHERWISE.
15. RELOCATED EXISTING LIGHT FIXTURE.
16. RELOCATED EXISTING TV MONITOR.
17. EXISTING ALUMINUM FLOOR AND WALL (EACH SIDE) EXPANSION JOINT COVERS TO REMAIN.
18. EXISTING GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO REMAIN.
19. RELOCATED EXISTING FIRE EXTINGUISHER.
20. EXISTING EXTERIOR WINDOW TO REMAIN.
21. REINSTALL EXISTING SALVAGED WOOD BASE AND CHAIR RAIL. PROVIDE BALANCE OF MATERIAL AS NEEDED TO COMPLETE JOB. PAINT ALL BASE AND CHAIR RAIL IN ENTIRE ROOM.
22. EXISTING PLASTER ON CMU TO UNDERSIDE OF EXISTING STRUCTURE (4" OR 8" CMU PER WALL THICKNESS DEPICTED GRAPHICALLY). FIRE-RATED WALL. CONTRACTOR VERIFY.
23. EXISTING ROOM SIGNAGE.
24. EXISTING CARD READER.
25. REFERENCE DOOR SCHEDULE.
26. PAINT INTERIOR SIDE OF EXISTING WINDOW GLAZING ONLY "FLAT BLACK".
27. REINSTALLED EXISTING ROOM SIGNAGE.
28. REINSTALLED EXISTING CARD READER.
29. PLASTER ASSEMBLY INFILL AT EXISTING WALL AS DETAILED AT EXISTING WINDOW OPENING.
30. ENSURE EXISTING WALL VENT IS SECURELY CLOSED SHUT PRIOR TO COVER-UP.
31. PROVIDE WALL PROTECTION TO MATCH EXISTING.
32. PROVIDE NEW CEILING AS SCHEDULED.
33. PROVIDE GYPSUM BOARD/STEEL STUD FRAMED FUR-DOWN AS DETAILED.
34. PROVIDE 2" X 2" RAISED FLOOR SYSTEM AT 10" ABOVE THE 4TH FLOOR LEVEL.
35. ELECTRICAL CONDUITS AND MECHANICAL PIPING PER MEP DRAWINGS.
36. PROVIDE 5/8" GYPSUM BOARD WHERE EXISTING TILE WAINSCOT AND SUBSTRATE WAS REMOVED. TEXTURE AND FINISH TO MATCH EXISTING ADJACENT WALLS (4'-0"± HIGH. LOCATE AS INDICATED BY HEAVY LINE).
37. TEXTURE AND FINISH EXISTING GYPSUM BOARD SUBSTRATE TO MATCH EXISTING ADJACENT WALLS.
38. GYPSUM BOARD ASSEMBLY INFILL AS DETAILED AT EXISTING WINDOW OPENING.
39. PROVIDE INFILL PER KEYED NOTE 29 AT VOID LEFT BY HEATER REMOVED.
40. PROVIDE 1" THICK MINIMUM CONCRETE INFILL FLUSH WITH EXISTING CONCRETE TOPPING WHERE PORTIONS OF EXISTING CMU WALLS ARE REMOVED.
41. PROVIDE PAINTED WOOD CHAIR RAIL TO MATCH EXISTING.
42. REINSTALLED EXISTING SHELF.
43. PROVIDE GYPSUM BOARD/METAL STUD FRAMED CHASE FROM FLOORS ABOVE. MINIMIZE SIZE AND REFERENCE MEP DRAWINGS FOR COMPONENTS TO BE IN CHASE.
44. RAMP AND RAILS BY RAISED FLOOR SYSTEM MANUFACTURER.
45. ROOM PERIMETER WALLS TO BE FULLY SEALED TOP AND BOTTOM ON BOTH SIDES OF WALL. EXTERIOR WALL SEAL INTERIOR SIDE ONLY.

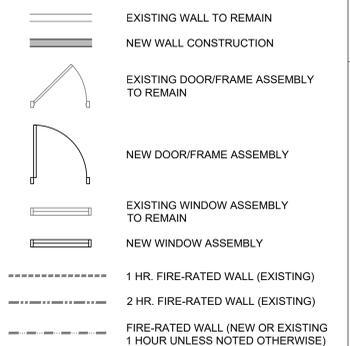
GENERAL NOTES - RENOVATION

1. REFERENCE GENERAL NOTES ON SHEET GI-004.
2. UNLESS NOTED OTHERWISE, ALL EXISTING WALLS ARE 5/8" GYPSUM BOARD/3/8" METAL STUD FRAMED TO UNDERSIDE OF PRIMARY BUILDING FRAMING STRUCTURE (1 HR. FIRE RATED - CONSTRUCTION SIMILAR TO U.I. DESIGN NO. U465). CONTRACTOR TO VERIFY.
3. UNLESS NOTED OTHERWISE, ALL EXISTING DOOR ASSEMBLIES ARE SOLID CORE WOOD DOORS/HOLLOW METAL FRAME TYPICAL (3'-0" X 7'-0").
4. UNLESS NOTED OTHERWISE ALL EXISTING LAY-IN CEILING ASSEMBLIES ARE 2' X 2' STANDARD GRID WITH FISSURED TILES AT 8'-0" A.F.F. TYPICAL.
5. UNLESS NOTED OTHERWISE, ALL EXISTING STEEL COLUMN FUR-OUTS ARE GYPSUM BOARD/METAL STUD FRAMED TYPICAL.
6. PARTIAL OR ENTIRE RECONSTRUCTION OF SOME EXISTING CEILING ASSEMBLIES THROUGH OUT THE ENTIRE BUILDING(S), ESPECIALLY IN CORRIDORS, WILL BE NECESSARY. REFERENCE ALL DISCIPLINE DEMOLITION DRAWINGS. RECONSTRUCTION IS TO INCLUDE MISCELLANEOUS PATCHING /REPAIR TO MATCH EXISTING OR BETTER CONDITIONS.
7. EXISTING FIRE-RATED WALL IDENTIFICATION INDICATED ONLY FOR IMMEDIATE AFFECTED ROOM WALLS. CONTRACTOR SHALL VERIFY FULL EXTENT OF EXISTING FIRE-RATED WALLS AT ADJACENT AREAS.
8. ALL NEW WALLS SHALL BE PARTITION TYPE '1' UNLESS OTHERWISE NOTED.
9. UNLESS NOTED OTHERWISE AT ALL ROOMS WHERE EXISTING LAY-IN CEILING IS REMOVED AND IS TO BECOME A "NO CEILING" ROOM, THE EXISTING GYPSUM BOARD ABOVE, PREVIOUSLY REMOVED CEILING IS TO BE FULLY TAPED, FLOATED, TEXTURED AND PAINTED TO MATCH EXISTING WALLS.

KEYED NOTES - RENOVATION (CONT.)

46. TEMPORARY ALUMINUM RAMP BY CONTRACTOR TO BE RETURNED TO OWNER AT END OF JOB.
47. MODULAR BRICK INFILL ON EXTERIOR TO MATCH EXISTING. TOOTH-IN AND MATCH MORTAR.

LEGEND - RENOVATION



Revisions:	Date:

CONSULTANT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com

PROJECT MANAGEMENT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com



Construction and Facilities Management

Drawing Title
ENLARGED FLOOR PLANS - 6TH FLOOR RENOVATION

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLERED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST., CINCINNATI, OH

Issue Date
4-MAY-2022

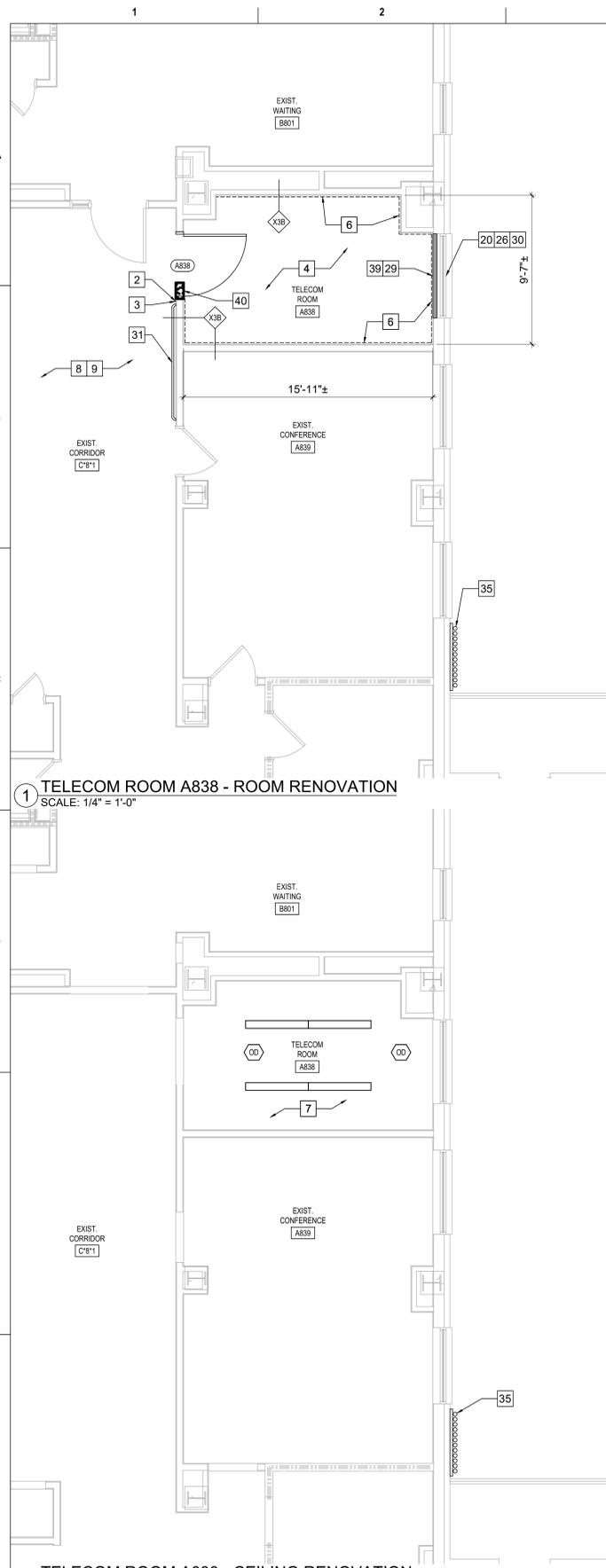
Checked

Drawn
IAR

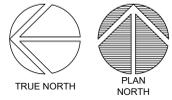
Project Number
539-21-701

Building Number
C1

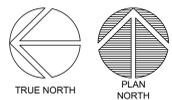
Drawing Number
AS-406-C.1.6



1 TELECOM ROOM A838 - ROOM RENOVATION
SCALE: 1/4" = 1'-0"



2 TELECOM ROOM A838 - CEILING RENOVATION
SCALE: 1/4" = 1'-0"



KEYED NOTES - RENOVATION

1. EXISTING DOOR/FRAME ASSEMBLY TO REMAIN.
2. PROVIDE CARD READER.
3. PROVIDE ROOM SIGNAGE.
4. PROVIDE NEW FLOORING AND BASE AS SCHEDULED.
5. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE IN THIS ROOM THAT MAY REQUIRE MINOR DEMOLITION, PATCHING AND REPAIR OF EXISTING FLOOR SUBSTRATE, WALL OR MISCELLANEOUS ASSEMBLIES.
6. PROVIDE 8"x4"x3/4" AC FACED FIRE-RATED PLYWOOD VERTICALLY ON ALL WALLS AS INDICATED. PAINT WITH 2 COATS MIN. FIRE-RATED PAINT. COORDINATE EXACT LOCATION A.F.F. WITH TECHNOLOGY AND ELECTRICAL DRAWINGS AND EXISTING CONDITIONS.
7. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE OF EXISTING AND NEW COMPONENTS AT CEILING LEVEL.
8. EXISTING FLOOR AND BASE TO REMAIN. REPAIR AS NECESSARY TO MATCH EXISTING CONDITIONS OR BETTER.
9. EXISTING VCT FLOORING AND RUBBER BASE TO REMAIN.
10. LIMITED RENOVATION TO EXISTING CEILING ASSEMBLY PER MEP AND TECHNOLOGY DRAWINGS WORK SCOPE.
11. RELOCATED EXISTING MARKER BOARD.
12. RELOCATED EXISTING MILLWORK.
13. CEILING FUR-DOWN ABOVE.
14. NEW GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO MATCH EXISTING HEIGHT. NO JOINTS UNLESS NOTED OTHERWISE.
15. RELOCATED EXISTING LIGHT FIXTURE.
16. RELOCATED EXISTING TV MONITOR.
17. EXISTING ALUMINUM FLOOR AND WALL (EACH SIDE) EXPANSION JOINT COVERS TO REMAIN.
18. EXISTING GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO REMAIN.
19. RELOCATED EXISTING FIRE EXTINGUISHER.
20. EXISTING EXTERIOR WINDOW TO REMAIN.
21. REINSTALL EXISTING SALVAGED WOOD BASE AND CHAIR RAIL. PROVIDE BALANCE OF MATERIAL AS NEEDED TO COMPLETE JOB. PAINT ALL BASE AND CHAIR RAIL IN ENTIRE ROOM.
22. EXISTING PLASTER ON CMU TO UNDERSIDE OF EXISTING STRUCTURE (4" OR 8" CMU PER WALL THICKNESS DEPICTED GRAPHICALLY). FIRE-RATED WALL. CONTRACTOR VERIFY.
23. EXISTING ROOM SIGNAGE.
24. EXISTING CARD READER.
25. REFERENCE DOOR SCHEDULE.
26. PAINT INTERIOR SIDE OF EXISTING WINDOW GLAZING ONLY "FLAT BLACK".
27. REINSTALLED EXISTING ROOM SIGNAGE.
28. REINSTALLED EXISTING CARD READER.
29. PLASTER ASSEMBLY INFILL AT EXISTING WALL AS DETAILED AT EXISTING WINDOW OPENING.
30. ENSURE EXISTING WALL VENT IS SECURELY CLOSED SHUT PRIOR TO COVER-UP.
31. PROVIDE WALL PROTECTION TO MATCH EXISTING.
32. PROVIDE NEW CEILING AS SCHEDULED.
33. PROVIDE GYPSUM BOARD/STEEL STUD FRAMED FUR-DOWN AS DETAILED.
34. PROVIDE 2' X 2' RAISED FLOOR SYSTEM AT 10" ABOVE THE 4TH FLOOR LEVEL.
35. ELECTRICAL CONDUITS AND MECHANICAL PIPING PER MEP DRAWINGS.
36. PROVIDE 5/8" GYPSUM BOARD WHERE EXISTING TILE WAINSCOT AND SUBSTRATE WAS REMOVED. TEXTURE AND FINISH TO MATCH EXISTING ADJACENT WALLS (4'-0"± HIGH. LOCATE AS INDICATED BY HEAVY LINE).
37. TEXTURE AND FINISH EXISTING GYPSUM BOARD SUBSTRATE TO MATCH EXISTING ADJACENT WALLS.
38. GYPSUM BOARD ASSEMBLY INFILL AS DETAILED AT EXISTING WINDOW OPENING.
39. PROVIDE INFILL PER KEYED NOTE 29 AT VOID LEFT BY HEATER REMOVED.
40. PROVIDE 1" THICK MINIMUM CONCRETE INFILL FLUSH WITH EXISTING CONCRETE TOPPING WHERE PORTIONS OF EXISTING CMU WALLS ARE REMOVED.
41. PROVIDE PAINTED WOOD CHAIR RAIL TO MATCH EXISTING.
42. REINSTALLED EXISTING SHELF.
43. PROVIDE GYPSUM BOARD/METAL STUD FRAMED CHASE FROM FLOORS ABOVE. MINIMIZE SIZE AND REFERENCE MEP DRAWINGS FOR COMPONENTS TO BE IN CHASE.
44. RAMP AND RAILS BY RAISED FLOOR SYSTEM MANUFACTURER.
45. ROOM PERIMETER WALLS TO BE FULLY SEALED TOP AND BOTTOM ON BOTH SIDES OF WALL. EXTERIOR WALL SEAL INTERIOR SIDE ONLY.

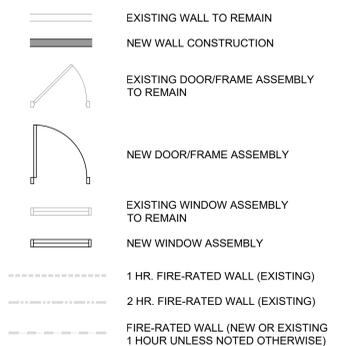
GENERAL NOTES - RENOVATION

1. REFERENCE GENERAL NOTES ON SHEET GI-004.
2. UNLESS NOTED OTHERWISE, ALL EXISTING WALLS ARE 5/8" GYPSUM BOARD/3 5/8" METAL STUD FRAMED TO UNDERSIDE OF PRIMARY BUILDING FRAMING STRUCTURE (1 HR. FIRE RATED - CONSTRUCTION SIMILAR TO U.I. DESIGN NO. U465). CONTRACTOR TO VERIFY.
3. UNLESS NOTED OTHERWISE, ALL EXISTING DOOR ASSEMBLIES ARE SOLID CORE WOOD DOORS/HOLLOW METAL FRAME TYPICAL (3'-0" X 7'-0").
4. UNLESS NOTED OTHERWISE ALL EXISTING LAY-IN CEILING ASSEMBLIES ARE 2' X 2' STANDARD GRID WITH FISSURED TILES AT 8'-0" A.F.F. TYPICAL.
5. UNLESS NOTED OTHERWISE, ALL EXISTING STEEL COLUMN FUR-OUTS ARE GYPSUM BOARD/METAL STUD FRAMED TYPICAL.
6. PARTIAL OR ENTIRE RECONSTRUCTION OF SOME EXISTING CEILING ASSEMBLIES THROUGH OUT THE ENTIRE BUILDING(S), ESPECIALLY IN CORRIDORS, WILL BE NECESSARY. REFERENCE ALL DISCIPLINE DEMOLITION DRAWINGS. RECONSTRUCTION IS TO INCLUDE MISCELLANEOUS PATCHING /REPAIR TO MATCH EXISTING OR BETTER CONDITIONS.
7. EXISTING FIRE-RATED WALL IDENTIFICATION INDICATED ONLY FOR IMMEDIATE AFFECTED ROOM WALLS. CONTRACTOR SHALL VERIFY FULL EXTENT OF EXISTING FIRE-RATED WALLS AT ADJACENT AREAS.
8. ALL NEW WALLS SHALL BE PARTITION TYPE '1' UNLESS OTHERWISE NOTED.
9. UNLESS NOTED OTHERWISE AT ALL ROOMS WHERE EXISTING LAY-IN CEILING IS REMOVED AND IS TO BECOME A "NO CEILING" ROOM, THE EXISTING GYPSUM BOARD ABOVE PREVIOUSLY REMOVED CEILING IS TO BE FULLY TAPED, FLOATED, TEXTURED AND PAINTED TO MATCH EXISTING WALLS.

KEYED NOTES - RENOVATION (CONT.)

46. TEMPORARY ALUMINUM RAMP BY CONTRACTOR TO BE RETURNED TO OWNER AT END OF JOB.
47. MODULAR BRICK INFILL ON EXTERIOR TO MATCH EXISTING. TOOTH-IN AND MATCH MORTAR.

LEGEND - RENOVATION



Revisions:	Date:

CONSULTANT

8718 Botts Lane Phone: (210) 816-4784
San Antonio, Texas 78217 Fax: (210) 881-6808
www.hfscompany.com jbianco@hfscompany.com

PROJECT MANAGEMENT

8718 Botts Lane Phone: (210) 816-4784
San Antonio, Texas 78217 Fax: (210) 881-6808
www.hfscompany.com jbianco@hfscompany.com



Construction and Facilities Management

Drawing Title
ENLARGED FLOOR PLAN - EIGHTH FLOOR - RENOVATION

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLERED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST., CINCINNATI, OH

Issue Date
4-MAY-2022

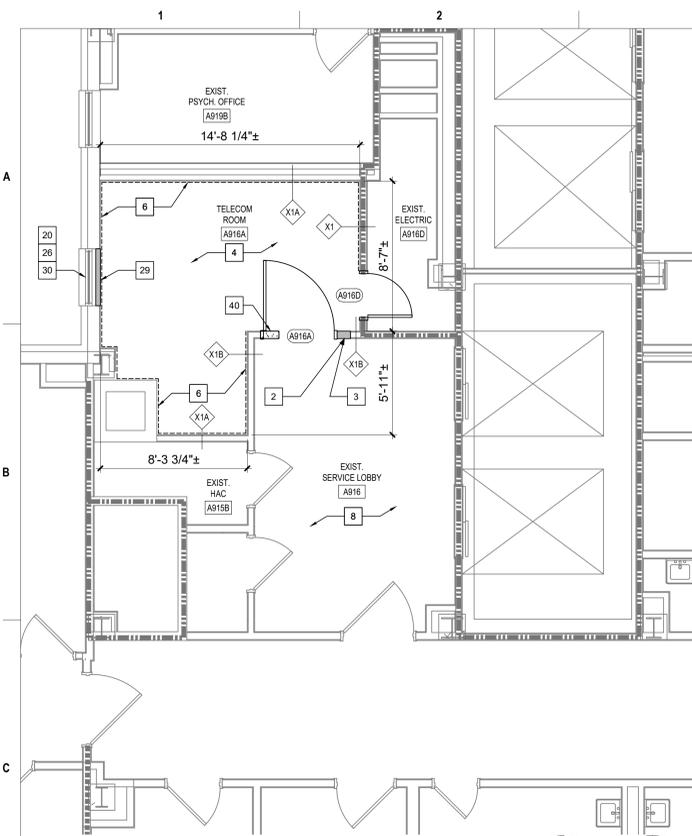
Checked
IAR, JFB

Drawn
IAR

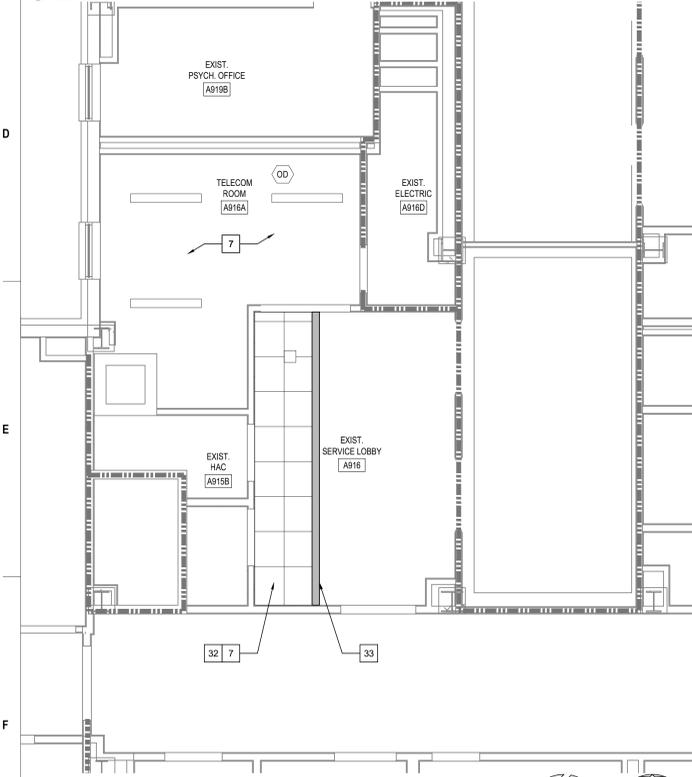
Project Number
539-21-701

Building Number
1

Drawing Number
AS-408-C.1.8



1 TELECOM ROOM A916A - ROOM RENOVATION
SCALE: 1/4" = 1'-0"



2 TELECOM ROOM A916A - CEILING RENOVATION
SCALE: 1/4" = 1'-0"

Revisions:	Date:

CONSULTANT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com

PROJECT MANAGEMENT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com



Construction and Facilities Management

Drawing Title
ENLARGED FLOOR PLANS - 9TH FLOOR RENOVATION

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLERED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST., CINCINNATI, OH

Issue Date
4-MAY-2022

Checked

Drawn
IAR

Project Number
539-21-701

Building Number
C1

Drawing Number
AS-409-C.1.9

KEYED NOTES - RENOVATION

- EXISTING DOOR/FRAME ASSEMBLY TO REMAIN.
- PROVIDE CARD READER.
- PROVIDE ROOM SIGNAGE.
- PROVIDE NEW FLOORING AND BASE AS SCHEDULED.
- REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE IN THIS ROOM THAT MAY REQUIRE MINOR DEMOLITION, PATCHING AND REPAIR OF EXISTING FLOOR SUBSTRATE, WALL OR MISCELLANEOUS ASSEMBLIES.
- PROVIDE 8"x4"x3/4" AC FACED FIRE-RATED PLYWOOD VERTICALLY ON ALL WALLS AS INDICATED. PAINT WITH 2 COATS MIN. FIRE-RATED PAINT. COORDINATE EXACT LOCATION A.F.F. WITH TECHNOLOGY AND ELECTRICAL DRAWINGS AND EXISTING CONDITIONS.
- REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE OF EXISTING AND NEW COMPONENTS AT CEILING LEVEL.
- EXISTING FLOOR AND BASE TO REMAIN. REPAIR AS NECESSARY TO MATCH EXISTING CONDITIONS OR BETTER.
- EXISTING VCT FLOORING AND RUBBER BASE TO REMAIN.
- LIMITED RENOVATION TO EXISTING CEILING ASSEMBLY PER MEP AND TECHNOLOGY DRAWINGS WORK SCOPE.
- RELOCATED EXISTING MARKER BOARD.
- RELOCATED EXISTING MILLWORK.
- CEILING FUR-DOWN ABOVE.
- NEW GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO MATCH EXISTING HEIGHT. NO JOINTS UNLESS NOTED OTHERWISE.
- RELOCATED EXISTING LIGHT FIXTURE.
- RELOCATED EXISTING TV MONITOR.
- EXISTING ALUMINUM FLOOR AND WALL (EACH SIDE) EXPANSION JOINT COVERS TO REMAIN.
- EXISTING GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO REMAIN.
- RELOCATED EXISTING FIRE EXTINGUISHER.
- EXISTING EXTERIOR WINDOW TO REMAIN.
- REINSTALL EXISTING SALVAGED WOOD BASE AND CHAIR RAIL. PROVIDE BALANCE OF MATERIAL AS NEEDED TO COMPLETE JOB. PAINT ALL BASE AND CHAIR RAIL IN ENTIRE ROOM.
- EXISTING PLASTER ON CMU TO UNDERSIDE OF EXISTING STRUCTURE (4" OR 8" CMU PER WALL THICKNESS DEPICTED GRAPHICALLY). FIRE-RATED WALL. CONTRACTOR VERIFY.
- EXISTING ROOM SIGNAGE.
- EXISTING CARD READER.
- REFERENCE DOOR SCHEDULE.
- PAINT INTERIOR SIDE OF EXISTING WINDOW GLAZING ONLY "FLAT BLACK".
- REINSTALLED EXISTING ROOM SIGNAGE.
- REINSTALLED EXISTING CARD READER.
- PLASTER ASSEMBLY INFILL AT EXISTING WALL AS DETAILED AT EXISTING WINDOW OPENING.
- ENSURE EXISTING WALL VENT IS SECURELY CLOSED SHUT PRIOR TO COVER-UP.
- PROVIDE WALL PROTECTION TO MATCH EXISTING.
- PROVIDE NEW CEILING AS SCHEDULED.
- PROVIDE GYPSUM BOARD/STEEL STUD FRAMED FUR-DOWN AS DETAILED.
- PROVIDE 2' X 2' RAISED FLOOR SYSTEM AT 10" ABOVE THE 4TH FLOOR LEVEL.
- ELECTRICAL CONDUITS AND MECHANICAL PIPING PER MEP DRAWINGS.
- PROVIDE 5/8" GYPSUM BOARD WHERE EXISTING TILE WAINSCOT AND SUBSTRATE WAS REMOVED. TEXTURE AND FINISH TO MATCH EXISTING ADJACENT WALLS (4'-0"± HIGH. LOCATE AS INDICATED BY HEAVY LINE).
- TEXTURE AND FINISH EXISTING GYPSUM BOARD SUBSTRATE TO MATCH EXISTING ADJACENT WALLS.
- GYPSUM BOARD ASSEMBLY INFILL AS DETAILED AT EXISTING WINDOW OPENING.
- PROVIDE INFILL PER KEYED NOTE 29 AT VOID LEFT BY HEATER REMOVED.
- PROVIDE 1" THICK MINIMUM CONCRETE INFILL FLUSH WITH EXISTING CONCRETE TOPPING WHERE PORTIONS OF EXISTING CMU WALLS ARE REMOVED.
- PROVIDE PAINTED WOOD CHAIR RAIL TO MATCH EXISTING.
- REINSTALLED EXISTING SHELF.
- PROVIDE GYPSUM BOARD/METAL STUD FRAMED CHASE FROM FLOORS ABOVE. MINIMIZE SIZE AND REFERENCE MEP DRAWINGS FOR COMPONENTS TO BE IN CHASE.
- RAMP AND RAILS BY RAISED FLOOR SYSTEM MANUFACTURER.
- ROOM PERIMETER WALLS TO BE FULLY SEALED TOP AND BOTTOM ON BOTH SIDES OF WALL. EXTERIOR WALL SEAL INTERIOR SIDE ONLY.

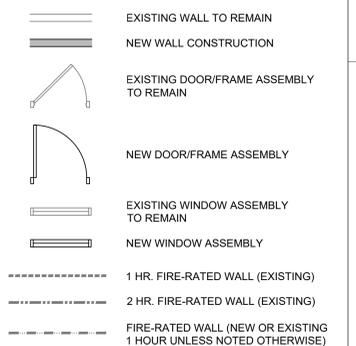
GENERAL NOTES - RENOVATION

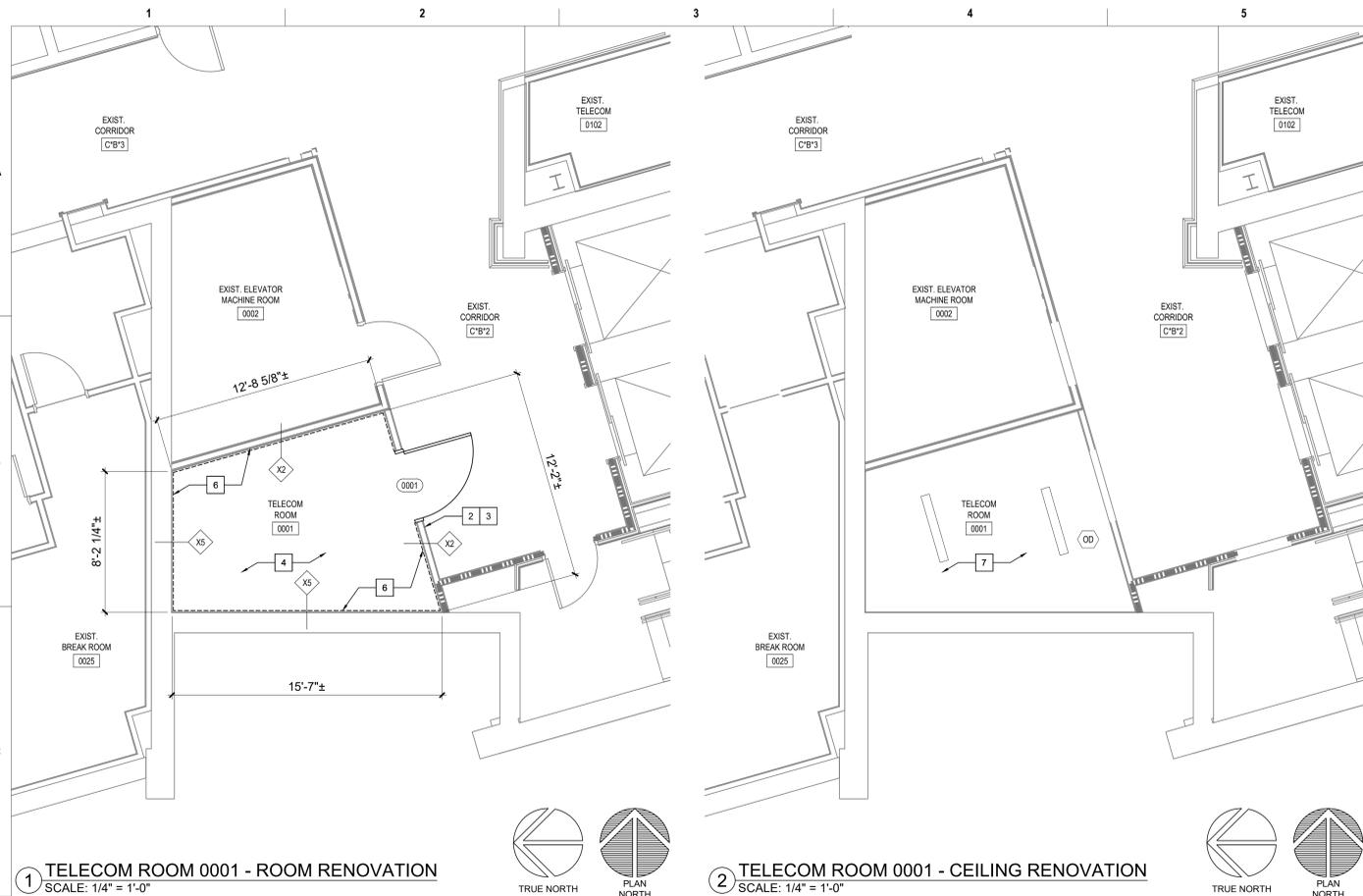
- REFERENCE GENERAL NOTES ON SHEET GI-004.
- UNLESS NOTED OTHERWISE, ALL EXISTING WALLS ARE 5/8" GYPSUM BOARD/3/8" METAL STUD FRAMED TO UNDERSIDE OF PRIMARY BUILDING FRAMING STRUCTURE (1 HR. FIRE RATED - CONSTRUCTION SIMILAR TO U.I. DESIGN NO. U465). CONTRACTOR TO VERIFY.
- UNLESS NOTED OTHERWISE, ALL EXISTING DOOR ASSEMBLIES ARE SOLID CORE WOOD DOORS/HOLLOW METAL FRAME TYPICAL (3'-0" X 7'-0").
- UNLESS NOTED OTHERWISE ALL EXISTING LAY-IN CEILING ASSEMBLIES ARE 2' X 2' STANDARD GRID WITH FISSURED TILES AT 8'-0" A.F.F. TYPICAL.
- UNLESS NOTED OTHERWISE, ALL EXISTING STEEL COLUMN FUR-OUTS ARE GYPSUM BOARD/METAL STUD FRAMED TYPICAL.
- PARTIAL OR ENTIRE RECONSTRUCTION OF SOME EXISTING CEILING ASSEMBLIES THROUGH OUT THE ENTIRE BUILDING(S), ESPECIALLY IN CORRIDORS, WILL BE NECESSARY. REFERENCE ALL DISCIPLINE DEMOLITION DRAWINGS. RECONSTRUCTION IS TO INCLUDE MISCELLANEOUS PATCHING /REPAIR TO MATCH EXISTING OR BETTER CONDITIONS.
- EXISTING FIRE-RATED WALL IDENTIFICATION INDICATED ONLY FOR IMMEDIATE AFFECTED ROOM WALLS. CONTRACTOR SHALL VERIFY FULL EXTENT OF EXISTING FIRE-RATED WALLS AT ADJACENT AREAS.
- ALL NEW WALLS SHALL BE PARTITION TYPE '1' UNLESS OTHERWISE NOTED.
- UNLESS NOTED OTHERWISE AT ALL ROOMS WHERE EXISTING LAY-IN CEILING IS REMOVED AND IS TO BECOME A "NO CEILING" ROOM, THE EXISTING GYPSUM BOARD ABOVE, PREVIOUSLY REMOVED CEILING IS TO BE FULLY TAPED, FLOATED, TEXTURED AND PAINTED TO MATCH EXISTING WALLS.

KEYED NOTES - RENOVATION (CONT.)

- TEMPORARY ALUMINUM RAMP BY CONTRACTOR TO BE RETURNED TO OWNER AT END OF JOB.
- MODULAR BRICK INFILL ON EXTERIOR TO MATCH EXISTING. TOOTH-IN AND MATCH MORTAR.

LEGEND - RENOVATION





1 TELECOM ROOM 0001 - ROOM RENOVATION
SCALE: 1/4" = 1'-0"

2 TELECOM ROOM 0001 - CEILING RENOVATION
SCALE: 1/4" = 1'-0"

KEYED NOTES - RENOVATION

1. EXISTING DOOR/FRAME ASSEMBLY TO REMAIN.
2. PROVIDE CARD READER.
3. PROVIDE ROOM SIGNAGE.
4. PROVIDE NEW FLOORING AND BASE AS SCHEDULED.
5. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE IN THIS ROOM THAT MAY REQUIRE MINOR DEMOLITION, PATCHING AND REPAIR OF EXISTING FLOOR SUBSTRATE, WALL OR MISCELLANEOUS ASSEMBLIES.
6. PROVIDE 8"x4"x3/4" AC FACED FIRE-RATED PLYWOOD VERTICALLY ON ALL WALLS AS INDICATED. PAINT WITH 2 COATS MIN. FIRE-RATED PAINT. COORDINATE EXACT LOCATION A.F.F. WITH TECHNOLOGY AND ELECTRICAL DRAWINGS AND EXISTING CONDITIONS.
7. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE OF EXISTING AND NEW COMPONENTS AT CEILING LEVEL.
8. EXISTING FLOOR AND BASE TO REMAIN. REPAIR AS NECESSARY TO MATCH EXISTING CONDITIONS OR BETTER.
9. EXISTING VCT FLOORING AND RUBBER BASE TO REMAIN.
10. LIMITED RENOVATION TO EXISTING CEILING ASSEMBLY PER MEP AND TECHNOLOGY DRAWINGS WORK SCOPE.
11. RELOCATED EXISTING MARKER BOARD.
12. RELOCATED EXISTING MILLWORK.
13. CEILING FUR-DOWN ABOVE.
14. NEW GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO MATCH EXISTING HEIGHT. NO JOINTS UNLESS NOTED OTHERWISE.
15. RELOCATED EXISTING LIGHT FIXTURE.
16. RELOCATED EXISTING TV MONITOR.
17. EXISTING ALUMINUM FLOOR AND WALL (EACH SIDE) EXPANSION JOINT COVERS TO REMAIN.
18. EXISTING GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO REMAIN.
19. RELOCATED EXISTING FIRE EXTINGUISHER.
20. EXISTING EXTERIOR WINDOW TO REMAIN.
21. REINSTALL EXISTING SALVAGED WOOD BASE AND CHAIR RAIL. PROVIDE BALANCE OF MATERIAL AS NEEDED TO COMPLETE JOB. PAINT ALL BASE AND CHAIR RAIL IN ENTIRE ROOM.
22. EXISTING PLASTER ON CMU TO UNDERSIDE OF EXISTING STRUCTURE (4" OR 8" CMU PER WALL THICKNESS DEPICTED GRAPHICALLY). FIRE-RATED WALL. CONTRACTOR VERIFY.
23. EXISTING ROOM SIGNAGE.
24. EXISTING CARD READER.
25. REFERENCE DOOR SCHEDULE.
26. PAINT INTERIOR SIDE OF EXISTING WINDOW GLAZING ONLY "FLAT BLACK".
27. REINSTALLED EXISTING ROOM SIGNAGE.
28. REINSTALLED EXISTING CARD READER.
29. PLASTER ASSEMBLY INFILL AT EXISTING WALL AS DETAILED AT EXISTING WINDOW OPENING.
30. ENSURE EXISTING WALL VENT IS SECURELY CLOSED SHUT PRIOR TO COVER-UP.
31. PROVIDE WALL PROTECTION TO MATCH EXISTING.
32. PROVIDE NEW CEILING AS SCHEDULED.
33. PROVIDE GYPSUM BOARD/STEEL STUD FRAMED FUR-DOWN AS DETAILED.
34. PROVIDE 2' X 2' RAISED FLOOR SYSTEM AT 10" ABOVE THE 4TH FLOOR LEVEL.
35. ELECTRICAL CONDUITS AND MECHANICAL PIPING PER MEP DRAWINGS.
36. PROVIDE 5/8" GYPSUM BOARD WHERE EXISTING TILE WAINSCOT AND SUBSTRATE WAS REMOVED. TEXTURE AND FINISH TO MATCH EXISTING ADJACENT WALLS (4'-0"± HIGH. LOCATE AS INDICATED BY HEAVY LINE).
37. TEXTURE AND FINISH EXISTING GYPSUM BOARD SUBSTRATE TO MATCH EXISTING ADJACENT WALLS.
38. GYPSUM BOARD ASSEMBLY INFILL AS DETAILED AT EXISTING WINDOW OPENING.
39. PROVIDE INFILL PER KEYED NOTE 29 AT VOID LEFT BY HEATER REMOVED.
40. PROVIDE 1" THICK MINIMUM CONCRETE INFILL FLUSH WITH EXISTING CONCRETE TOPPING WHERE PORTIONS OF EXISTING CMU WALLS ARE REMOVED.
41. PROVIDE PAINTED WOOD CHAIR RAIL TO MATCH EXISTING.
42. REINSTALLED EXISTING SHELF.
43. PROVIDE GYPSUM BOARD/METAL STUD FRAMED CHASE FROM FLOORS ABOVE. MINIMIZE SIZE AND REFERENCE MEP DRAWINGS FOR COMPONENTS TO BE IN CHASE.
44. RAMP AND RAILS BY RAISED FLOOR SYSTEM MANUFACTURER.
45. ROOM PERIMETER WALLS TO BE FULLY SEALED TOP AND BOTTOM ON BOTH SIDES OF WALL. EXTERIOR WALL SEAL INTERIOR SIDE ONLY.

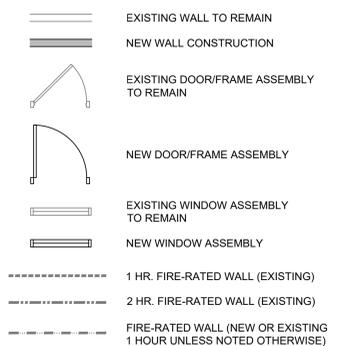
GENERAL NOTES - RENOVATION

1. REFERENCE GENERAL NOTES ON SHEET GI-004.
2. UNLESS NOTED OTHERWISE, ALL EXISTING WALLS ARE 5/8" GYPSUM BOARD/3 5/8" METAL STUD FRAMED TO UNDERSIDE OF PRIMARY BUILDING FRAMING STRUCTURE (1 HR. FIRE RATED - CONSTRUCTION SIMILAR TO U.I. DESIGN NO. U465). CONTRACTOR TO VERIFY.
3. UNLESS NOTED OTHERWISE, ALL EXISTING DOOR ASSEMBLIES ARE SOLID CORE WOOD DOORS/HOLLOW METAL FRAME TYPICAL (3'-0" X 7'-0").
4. UNLESS NOTED OTHERWISE ALL EXISTING LAY-IN CEILING ASSEMBLIES ARE 2' X 2' STANDARD GRID WITH FISSURED TILES AT 8'-0" A.F.F. TYPICAL.
5. UNLESS NOTED OTHERWISE, ALL EXISTING STEEL COLUMN FUR-OUTS ARE GYPSUM BOARD/METAL STUD FRAMED TYPICAL.
6. PARTIAL OR ENTIRE RECONSTRUCTION OF SOME EXISTING CEILING ASSEMBLIES THROUGH OUT THE ENTIRE BUILDING(S), ESPECIALLY IN CORRIDORS, WILL BE NECESSARY. REFERENCE ALL DISCIPLINE DEMOLITION DRAWINGS. RECONSTRUCTION IS TO INCLUDE MISCELLANEOUS PATCHING /REPAIR TO MATCH EXISTING OR BETTER CONDITIONS.
7. EXISTING FIRE-RATED WALL IDENTIFICATION INDICATED ONLY FOR IMMEDIATE AFFECTED ROOM WALLS. CONTRACTOR SHALL VERIFY FULL EXTENT OF EXISTING FIRE-RATED WALLS AT ADJACENT AREAS.
8. ALL NEW WALLS SHALL BE PARTITION TYPE '1' UNLESS OTHERWISE NOTED.
9. UNLESS NOTED OTHERWISE AT ALL ROOMS WHERE EXISTING LAY-IN CEILING IS REMOVED AND IS TO BECOME A "NO CEILING" ROOM, THE EXISTING GYPSUM BOARD ABOVE, PREVIOUSLY REMOVED CEILING IS TO BE FULLY TAPED, FLOATED, TEXTURED AND PAINTED TO MATCH EXISTING WALLS.

KEYED NOTES - RENOVATION (CONT.)

46. TEMPORARY ALUMINUM RAMP BY CONTRACTOR TO BE RETURNED TO OWNER AT END OF JOB.
47. MODULAR BRICK INFILL ON EXTERIOR TO MATCH EXISTING. TOOTH-IN AND MATCH MORTAR.

LEGEND - RENOVATION



Revisions:	Date:

CONSULTANT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com

PROJECT MANAGEMENT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com



Construction and Facilities Management

Drawing Title
ENLARGED FLOOR PLANS - BASEMENT FLOOR RENOVATION

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLERED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST., CINCINNATI, OH

Issue Date
4-MAY-2022

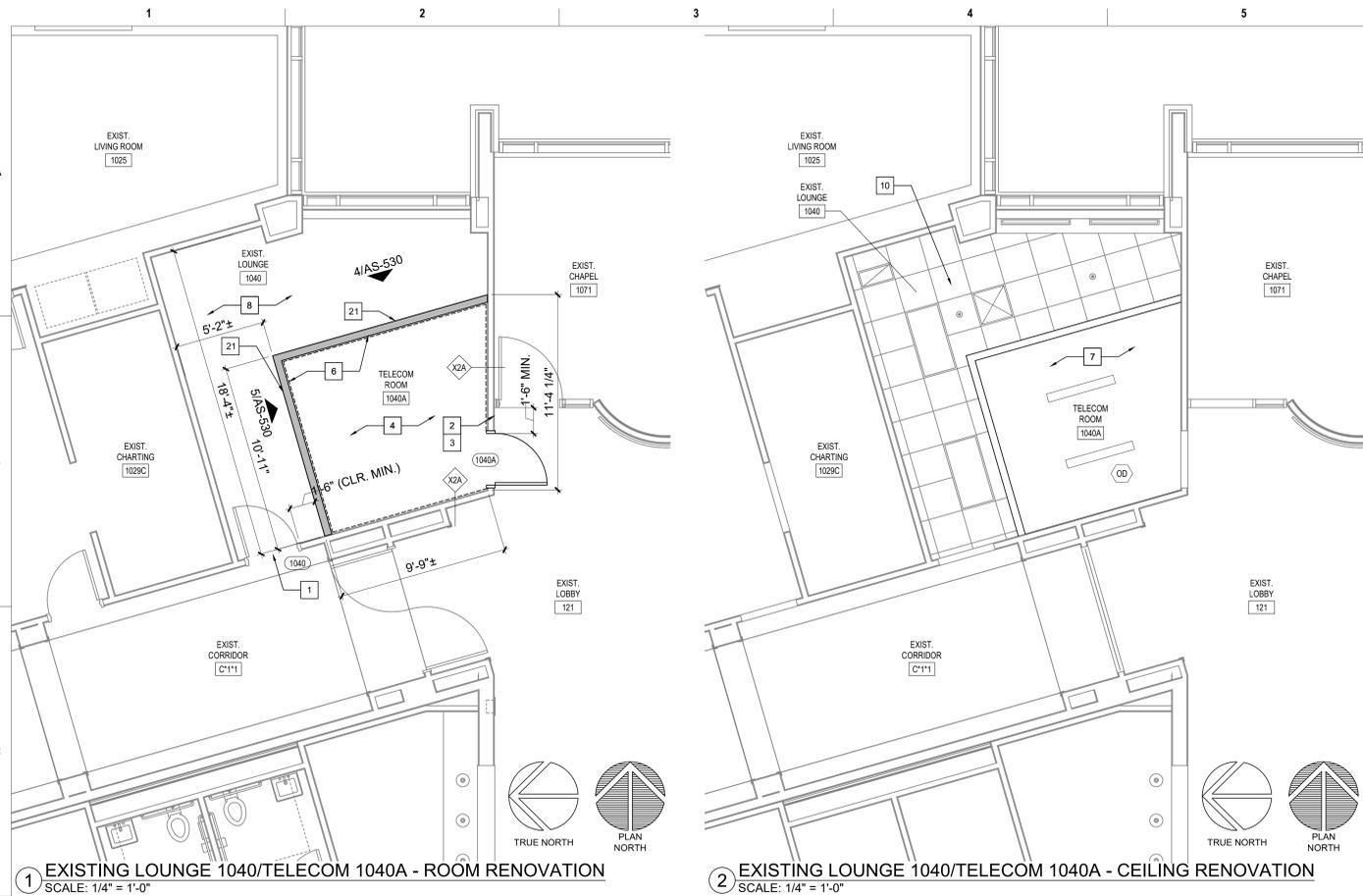
Checked

Drawn
IAR

Project Number
539-21-701

Building Number
C2

Drawing Number
AS-440-C.2.B



1 EXISTING LOUNGE 1040/TELECOM 1040A - ROOM RENOVATION
SCALE: 1/4" = 1'-0"

2 EXISTING LOUNGE 1040/TELECOM 1040A - CEILING RENOVATION
SCALE: 1/4" = 1'-0"

KEYED NOTES - RENOVATION

1. EXISTING DOOR/FRAME ASSEMBLY TO REMAIN.
2. PROVIDE CARD READER.
3. PROVIDE ROOM SIGNAGE.
4. PROVIDE NEW FLOORING AND BASE AS SCHEDULED.
5. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE IN THIS ROOM THAT MAY REQUIRE MINOR DEMOLITION, PATCHING AND REPAIR OF EXISTING FLOOR SUBSTRATE, WALL OR MISCELLANEOUS ASSEMBLIES.
6. PROVIDE 8"x4"x3/4" AC FACED FIRE-RATED PLYWOOD VERTICALLY ON ALL WALLS AS INDICATED. PAINT WITH 2 COATS MIN. FIRE-RATED PAINT. COORDINATE EXACT LOCATION A.F.F. WITH TECHNOLOGY AND ELECTRICAL DRAWINGS AND EXISTING CONDITIONS.
7. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE OF EXISTING AND NEW COMPONENTS AT CEILING LEVEL.
8. EXISTING FLOOR AND BASE TO REMAIN. REPAIR AS NECESSARY TO MATCH EXISTING CONDITIONS OR BETTER.
9. EXISTING VCT FLOORING AND RUBBER BASE TO REMAIN.
10. LIMITED RENOVATION TO EXISTING CEILING ASSEMBLY PER MEP AND TECHNOLOGY DRAWINGS WORK SCOPE.
11. RELOCATED EXISTING MARKER BOARD.
12. RELOCATED EXISTING MILLWORK.
13. CEILING FUR-DOWN ABOVE.
14. NEW GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO MATCH EXISTING HEIGHT. NO JOINTS UNLESS NOTED OTHERWISE.
15. RELOCATED EXISTING LIGHT FIXTURE.
16. RELOCATED EXISTING TV MONITOR.
17. EXISTING ALUMINUM FLOOR AND WALL (EACH SIDE) EXPANSION JOINT COVERS TO REMAIN.
18. EXISTING GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO REMAIN.
19. RELOCATED EXISTING FIRE EXTINGUISHER.
20. EXISTING EXTERIOR WINDOW TO REMAIN.
21. REINSTALL EXISTING SALVAGED WOOD BASE AND CHAIR RAIL. PROVIDE BALANCE OF MATERIAL AS NEEDED TO COMPLETE JOB. PAINT ALL BASE AND CHAIR RAIL IN ENTIRE ROOM.
22. EXISTING PLASTER ON CMU TO UNDERSIDE OF EXISTING STRUCTURE (4" OR 8" CMU PER WALL THICKNESS DEPICTED GRAPHICALLY). FIRE-RATED WALL. CONTRACTOR VERIFY.
23. EXISTING ROOM SIGNAGE.
24. EXISTING CARD READER.
25. REFERENCE DOOR SCHEDULE.
26. PAINT INTERIOR SIDE OF EXISTING WINDOW GLAZING ONLY "FLAT BLACK".
27. REINSTALLED EXISTING ROOM SIGNAGE.
28. REINSTALLED EXISTING CARD READER.
29. PLASTER ASSEMBLY INFILL AT EXISTING WALL AS DETAILED AT EXISTING WINDOW OPENING.
30. ENSURE EXISTING WALL VENT IS SECURELY CLOSED SHUT PRIOR TO COVER-UP.
31. PROVIDE WALL PROTECTION TO MATCH EXISTING.
32. PROVIDE NEW CEILING AS SCHEDULED.
33. PROVIDE GYPSUM BOARD/STEEL STUD FRAMED FUR-DOWN AS DETAILED.
34. PROVIDE 2' X 2' RAISED FLOOR SYSTEM AT 10" ABOVE THE 4TH FLOOR LEVEL.
35. ELECTRICAL CONDUITS AND MECHANICAL PIPING PER MEP DRAWINGS.
36. PROVIDE 5/8" GYPSUM BOARD WHERE EXISTING TILE WAINSCOT AND SUBSTRATE WAS REMOVED. TEXTURE AND FINISH TO MATCH EXISTING ADJACENT WALLS (4'-0"± HIGH. LOCATE AS INDICATED BY HEAVY LINE).
37. TEXTURE AND FINISH EXISTING GYPSUM BOARD SUBSTRATE TO MATCH EXISTING ADJACENT WALLS.
38. GYPSUM BOARD ASSEMBLY INFILL AS DETAILED AT EXISTING WINDOW OPENING.
39. PROVIDE INFILL PER KEYED NOTE 29 AT VOID LEFT BY HEATER REMOVED.
40. PROVIDE 1" THICK MINIMUM CONCRETE INFILL FLUSH WITH EXISTING CONCRETE TOPPING WHERE PORTIONS OF EXISTING CMU WALLS ARE REMOVED.
41. PROVIDE PAINTED WOOD CHAIR RAIL TO MATCH EXISTING.
42. REINSTALLED EXISTING SHELF.
43. PROVIDE GYPSUM BOARD/METAL STUD FRAMED CHASE FROM FLOORS ABOVE. MINIMIZE SIZE AND REFERENCE MEP DRAWINGS FOR COMPONENTS TO BE IN CHASE.
44. RAMP AND RAILS BY RAISED FLOOR SYSTEM MANUFACTURER.
45. ROOM PERIMETER WALLS TO BE FULLY SEALED TOP AND BOTTOM ON BOTH SIDES OF WALL. EXTERIOR WALL SEAL INTERIOR SIDE ONLY.

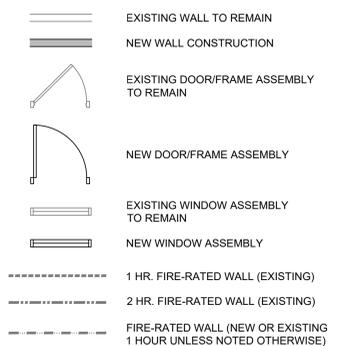
GENERAL NOTES - RENOVATION

1. REFERENCE GENERAL NOTES ON SHEET GI-004.
2. UNLESS NOTED OTHERWISE, ALL EXISTING WALLS ARE 5/8" GYPSUM BOARD/3/8" METAL STUD FRAMED TO UNDERSIDE OF PRIMARY BUILDING FRAMING STRUCTURE (1 HR. FIRE RATED - CONSTRUCTION SIMILAR TO U.I. DESIGN NO. U465). CONTRACTOR TO VERIFY.
3. UNLESS NOTED OTHERWISE, ALL EXISTING DOOR ASSEMBLIES ARE SOLID CORE WOOD DOORS/HOLLOW METAL FRAME TYPICAL (3'-0" X 7'-0").
4. UNLESS NOTED OTHERWISE ALL EXISTING LAY-IN CEILING ASSEMBLIES ARE 2' X 2' STANDARD GRID WITH FISSURED TILES AT 8'-0" A.F.F. TYPICAL.
5. UNLESS NOTED OTHERWISE, ALL EXISTING STEEL COLUMN FUR-OUTS ARE GYPSUM BOARD/METAL STUD FRAMED TYPICAL.
6. PARTIAL OR ENTIRE RECONSTRUCTION OF SOME EXISTING CEILING ASSEMBLIES THROUGH OUT THE ENTIRE BUILDING(S), ESPECIALLY IN CORRIDORS, WILL BE NECESSARY. REFERENCE ALL DISCIPLINE DEMOLITION DRAWINGS. RECONSTRUCTION IS TO INCLUDE MISCELLANEOUS PATCHING /REPAIR TO MATCH EXISTING OR BETTER CONDITIONS.
7. EXISTING FIRE-RATED WALL IDENTIFICATION INDICATED ONLY FOR IMMEDIATE AFFECTED ROOM WALLS. CONTRACTOR SHALL VERIFY FULL EXTENT OF EXISTING FIRE-RATED WALLS AT ADJACENT AREAS.
8. ALL NEW WALLS SHALL BE PARTITION TYPE '1' UNLESS OTHERWISE NOTED.
9. UNLESS NOTED OTHERWISE AT ALL ROOMS WHERE EXISTING LAY-IN CEILING IS REMOVED AND IS TO BECOME A "NO CEILING" ROOM, THE EXISTING GYPSUM BOARD ABOVE, PREVIOUSLY REMOVED CEILING IS TO BE FULLY TAPED, FLOATED, TEXTURED AND PAINTED TO MATCH EXISTING WALLS.

KEYED NOTES - RENOVATION (CONT.)

46. TEMPORARY ALUMINUM RAMP BY CONTRACTOR TO BE RETURNED TO OWNER AT END OF JOB.
47. MODULAR BRICK INFILL ON EXTERIOR TO MATCH EXISTING. TOOTH-IN AND MATCH MORTAR.

LEGEND - RENOVATION



Revisions:	Date:

CONSULTANT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com

PROJECT MANAGEMENT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com



Construction and Facilities Management

Drawing Title
ENLARGED FLOOR PLANS - 1ST FLOOR RENOVATION

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLERED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST., CINCINNATI, OH

Issue Date
4-MAY-2022

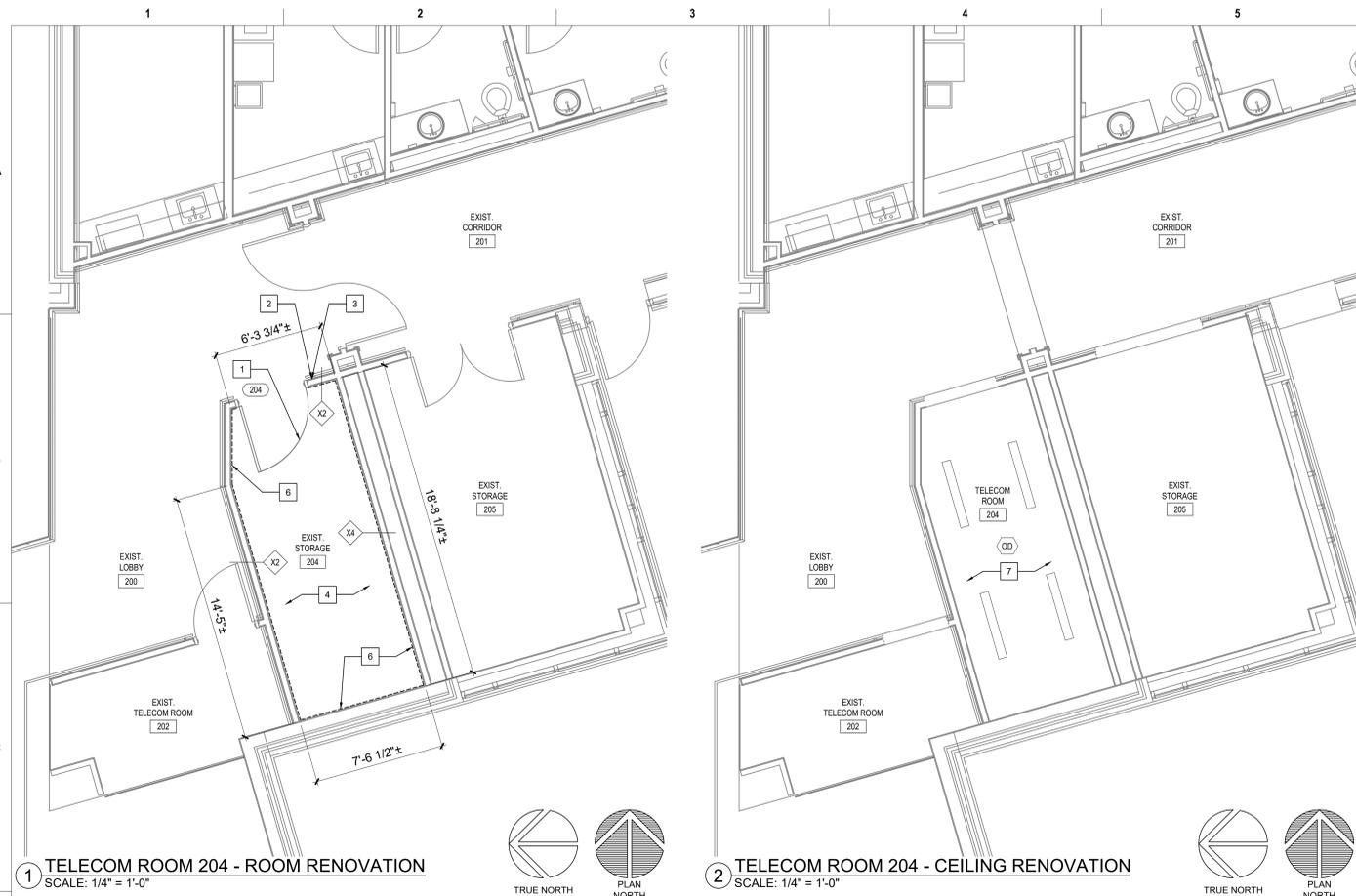
Checked

Drawn
IAR

Project Number
539-21-701

Building Number
C2

Drawing Number
AS-441-C.2.1



KEYED NOTES - RENOVATION

1. EXISTING DOOR/FRAME ASSEMBLY TO REMAIN.
2. PROVIDE CARD READER.
3. PROVIDE ROOM SIGNAGE.
4. PROVIDE NEW FLOORING AND BASE AS SCHEDULED.
5. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE IN THIS ROOM THAT MAY REQUIRE MINOR DEMOLITION, PATCHING AND REPAIR OF EXISTING FLOOR SUBSTRATE, WALL OR MISCELLANEOUS ASSEMBLIES.
6. PROVIDE 8"x4"x3/4" AC FACED FIRE-RATED PLYWOOD VERTICALLY ON ALL WALLS AS INDICATED. PAINT WITH 2 COATS MIN. FIRE-RATED PAINT. COORDINATE EXACT LOCATION A.F.F. WITH TECHNOLOGY AND ELECTRICAL DRAWINGS AND EXISTING CONDITIONS.
7. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE OF EXISTING AND NEW COMPONENTS AT CEILING LEVEL.
8. EXISTING FLOOR AND BASE TO REMAIN. REPAIR AS NECESSARY TO MATCH EXISTING CONDITIONS OR BETTER.
9. EXISTING VCT FLOORING AND RUBBER BASE TO REMAIN.
10. LIMITED RENOVATION TO EXISTING CEILING ASSEMBLY PER MEP AND TECHNOLOGY DRAWINGS WORK SCOPE.
11. RELOCATED EXISTING MARKER BOARD.
12. RELOCATED EXISTING MILLWORK.
13. CEILING FUR-DOWN ABOVE.
14. NEW GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO MATCH EXISTING HEIGHT. NO JOINTS UNLESS NOTED OTHERWISE.
15. RELOCATED EXISTING LIGHT FIXTURE.
16. RELOCATED EXISTING TV MONITOR.
17. EXISTING ALUMINUM FLOOR AND WALL (EACH SIDE) EXPANSION JOINT COVERS TO REMAIN.
18. EXISTING GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO REMAIN.
19. RELOCATED EXISTING FIRE EXTINGUISHER.
20. EXISTING EXTERIOR WINDOW TO REMAIN.
21. REINSTALL EXISTING SALVAGED WOOD BASE AND CHAIR RAIL. PROVIDE BALANCE OF MATERIAL AS NEEDED TO COMPLETE JOB. PAINT ALL BASE AND CHAIR RAIL IN ENTIRE ROOM.
22. EXISTING PLASTER ON CMU TO UNDERSIDE OF EXISTING STRUCTURE (4" OR 8" CMU PER WALL THICKNESS DEPICTED GRAPHICALLY). FIRE-RATED WALL. CONTRACTOR VERIFY.
23. EXISTING ROOM SIGNAGE.
24. EXISTING CARD READER.
25. REFERENCE DOOR SCHEDULE.
26. PAINT INTERIOR SIDE OF EXISTING WINDOW GLAZING ONLY "FLAT BLACK".
27. REINSTALLED EXISTING ROOM SIGNAGE.
28. REINSTALLED EXISTING CARD READER.
29. PLASTER ASSEMBLY INFILL AT EXISTING WALL AS DETAILED AT EXISTING WINDOW OPENING.
30. ENSURE EXISTING WALL VENT IS SECURELY CLOSED SHUT PRIOR TO COVER-UP.
31. PROVIDE WALL PROTECTION TO MATCH EXISTING.
32. PROVIDE NEW CEILING AS SCHEDULED.
33. PROVIDE GYPSUM BOARD/STEEL STUD FRAMED FUR-DOWN AS DETAILED.
34. PROVIDE 2" X 2" RAISED FLOOR SYSTEM AT 10" ABOVE THE 4TH FLOOR LEVEL.
35. ELECTRICAL CONDUITS AND MECHANICAL PIPING PER MEP DRAWINGS.
36. PROVIDE 5/8" GYPSUM BOARD WHERE EXISTING TILE WAINSCOT AND SUBSTRATE WAS REMOVED. TEXTURE AND FINISH TO MATCH EXISTING ADJACENT WALLS (4'-0"± HIGH. LOCATE AS INDICATED BY HEAVY LINE).
37. TEXTURE AND FINISH EXISTING GYPSUM BOARD SUBSTRATE TO MATCH EXISTING ADJACENT WALLS.
38. GYPSUM BOARD ASSEMBLY INFILL AS DETAILED AT EXISTING WINDOW OPENING.
39. PROVIDE INFILL PER KEYED NOTE 29 AT VOID LEFT BY HEATER REMOVED.
40. PROVIDE 1" THICK MINIMUM CONCRETE INFILL FLUSH WITH EXISTING CONCRETE TOPPING WHERE PORTIONS OF EXISTING CMU WALLS ARE REMOVED.
41. PROVIDE PAINTED WOOD CHAIR RAIL TO MATCH EXISTING.
42. REINSTALLED EXISTING SHELF.
43. PROVIDE GYPSUM BOARD/METAL STUD FRAMED CHASE FROM FLOORS ABOVE. MINIMIZE SIZE AND REFERENCE MEP DRAWINGS FOR COMPONENTS TO BE IN CHASE.
44. RAMP AND RAILS BY RAISED FLOOR SYSTEM MANUFACTURER.
45. ROOM PERIMETER WALLS TO BE FULLY SEALED TOP AND BOTTOM ON BOTH SIDES OF WALL. EXTERIOR WALL SEAL INTERIOR SIDE ONLY.

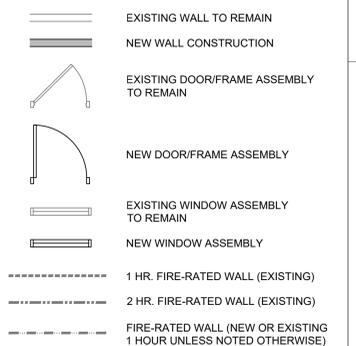
GENERAL NOTES - RENOVATION

1. REFERENCE GENERAL NOTES ON SHEET GI-004.
2. UNLESS NOTED OTHERWISE, ALL EXISTING WALLS ARE 5/8" GYPSUM BOARD/3/8" METAL STUD FRAMED TO UNDERSIDE OF PRIMARY BUILDING FRAMING STRUCTURE (1 HR. FIRE RATED - CONSTRUCTION SIMILAR TO U.I. DESIGN NO. U465). CONTRACTOR TO VERIFY.
3. UNLESS NOTED OTHERWISE, ALL EXISTING DOOR ASSEMBLIES ARE SOLID CORE WOOD DOORS/HOLLOW METAL FRAME TYPICAL (3'-0" X 7'-0").
4. UNLESS NOTED OTHERWISE ALL EXISTING LAY-IN CEILING ASSEMBLIES ARE 2" X 2" STANDARD GRID WITH FISSURED TILES AT 8'-0" A.F.F. TYPICAL.
5. UNLESS NOTED OTHERWISE, ALL EXISTING STEEL COLUMN FUR-OUTS ARE GYPSUM BOARD/METAL STUD FRAMED TYPICAL.
6. PARTIAL OR ENTIRE RECONSTRUCTION OF SOME EXISTING CEILING ASSEMBLIES THROUGH OUT THE ENTIRE BUILDING(S), ESPECIALLY IN CORRIDORS, WILL BE NECESSARY. REFERENCE ALL DISCIPLINE DEMOLITION DRAWINGS. RECONSTRUCTION IS TO INCLUDE MISCELLANEOUS PATCHING /REPAIR TO MATCH EXISTING OR BETTER CONDITIONS.
7. EXISTING FIRE-RATED WALL IDENTIFICATION INDICATED ONLY FOR IMMEDIATE AFFECTED ROOM WALLS. CONTRACTOR SHALL VERIFY FULL EXTENT OF EXISTING FIRE-RATED WALLS AT ADJACENT AREAS.
8. ALL NEW WALLS SHALL BE PARTITION TYPE '1' UNLESS OTHERWISE NOTED.
9. UNLESS NOTED OTHERWISE AT ALL ROOMS WHERE EXISTING LAY-IN CEILING IS REMOVED AND IS TO BECOME A "NO CEILING" ROOM, THE EXISTING GYPSUM BOARD ABOVE PREVIOUSLY REMOVED CEILING IS TO BE FULLY TAPED, FLOATED, TEXTURED AND PAINTED TO MATCH EXISTING WALLS.

KEYED NOTES - RENOVATION (CONT.)

46. TEMPORARY ALUMINUM RAMP BY CONTRACTOR TO BE RETURNED TO OWNER AT END OF JOB.
47. MODULAR BRICK INFILL ON EXTERIOR TO MATCH EXISTING. TOOTH-IN AND MATCH MORTAR.

LEGEND - RENOVATION



Revisions:	Date:

CONSULTANT

HFS

C O M P A N Y

8718 Botts Lane Phone: (210) 816-4784
San Antonio, Texas 78217 Fax: (210) 881-6808
www.hfscompany.com jbianco@hfscompany.com

PROJECT MANAGEMENT

HFS

C O M P A N Y

8718 Botts Lane Phone: (210) 816-4784
San Antonio, Texas 78217 Fax: (210) 881-6808
www.hfscompany.com jbianco@hfscompany.com



Construction and Facilities Management

VA U.S. Department of Veterans Affairs

Drawing Title
ENLARGED FLOOR PLANS - 2ND FLOOR RENOVATION

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLERED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST., CINCINNATI, OH

Issue Date
4-MAY-2022

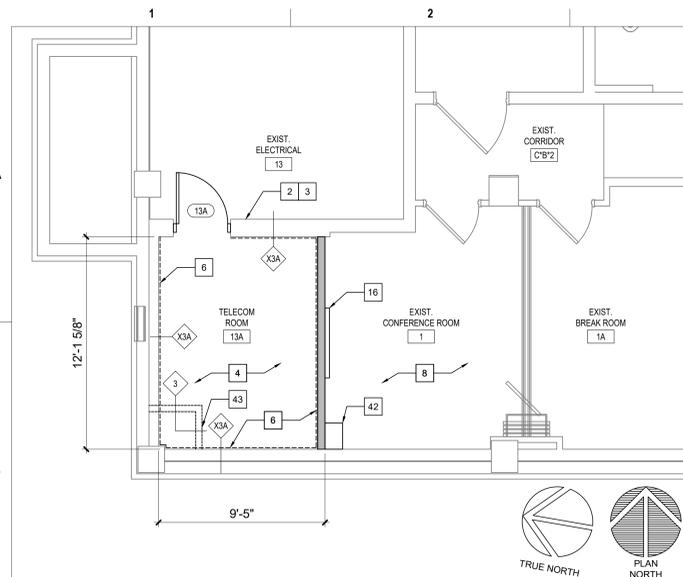
Checked

Drawn
IAR

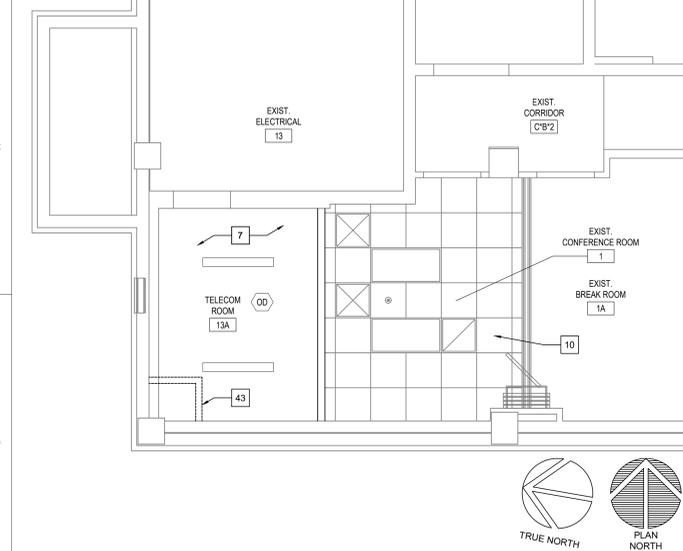
Project Number
539-21-701

Building Number
C2

Drawing Number
AS-442-C.2.2



1 EXISTING CONFERENCE ROOM 1/TELECOM 13A - ROOM RENOVATION
SCALE: 1/4" = 1'-0"



2 EXIST. CONFERENCE ROOM 1/TELECOM 13A - CEILING RENOVATION
SCALE: 1/4" = 1'-0"

KEYED NOTES - RENOVATION

1. EXISTING DOOR/FRAME ASSEMBLY TO REMAIN.
2. PROVIDE CARD READER.
3. PROVIDE ROOM SIGNAGE.
4. PROVIDE NEW FLOORING AND BASE AS SCHEDULED.
5. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE IN THIS ROOM THAT MAY REQUIRE MINOR DEMOLITION, PATCHING AND REPAIR OF EXISTING FLOOR SUBSTRATE, WALL OR MISCELLANEOUS ASSEMBLIES.
6. PROVIDE 8"x4"x3/4" AC FACED FIRE-RATED PLYWOOD VERTICALLY ON ALL WALLS AS INDICATED. PAINT WITH 2 COATS MIN. FIRE-RATED PAINT. COORDINATE EXACT LOCATION A.F.F. WITH TECHNOLOGY AND ELECTRICAL DRAWINGS AND EXISTING CONDITIONS.
7. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE OF EXISTING AND NEW COMPONENTS AT CEILING LEVEL.
8. EXISTING FLOOR AND BASE TO REMAIN. REPAIR AS NECESSARY TO MATCH EXISTING CONDITIONS OR BETTER.
9. EXISTING VCT FLOORING AND RUBBER BASE TO REMAIN.
10. LIMITED RENOVATION TO EXISTING CEILING ASSEMBLY PER MEP AND TECHNOLOGY DRAWINGS WORK SCOPE.
11. RELOCATED EXISTING MARKER BOARD.
12. RELOCATED EXISTING MILLWORK.
13. CEILING FUR-DOWN ABOVE.
14. NEW GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO MATCH EXISTING HEIGHT. NO JOINTS UNLESS NOTED OTHERWISE.
15. RELOCATED EXISTING LIGHT FIXTURE.
16. RELOCATED EXISTING TV MONITOR.
17. EXISTING ALUMINUM FLOOR AND WALL (EACH SIDE) EXPANSION JOINT COVERS TO REMAIN.
18. EXISTING GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO REMAIN.
19. RELOCATED EXISTING FIRE EXTINGUISHER.
20. EXISTING EXTERIOR WINDOW TO REMAIN.
21. REINSTALL EXISTING SALVAGED WOOD BASE AND CHAIR RAIL. PROVIDE BALANCE OF MATERIAL AS NEEDED TO COMPLETE JOB. PAINT ALL BASE AND CHAIR RAIL IN ENTIRE ROOM.
22. EXISTING PLASTER ON CMU TO UNDERSIDE OF EXISTING STRUCTURE (4" OR 8" CMU PER WALL THICKNESS DEPICTED GRAPHICALLY). FIRE-RATED WALL. CONTRACTOR VERIFY.
23. EXISTING ROOM SIGNAGE.
24. EXISTING CARD READER.
25. REFERENCE DOOR SCHEDULE.
26. PAINT INTERIOR SIDE OF EXISTING WINDOW GLAZING ONLY "FLAT BLACK".
27. REINSTALLED EXISTING ROOM SIGNAGE.
28. REINSTALLED EXISTING CARD READER.
29. PLASTER ASSEMBLY INFILL AT EXISTING WALL AS DETAILED AT EXISTING WINDOW OPENING.
30. ENSURE EXISTING WALL VENT IS SECURELY CLOSED SHUT PRIOR TO COVER-UP.
31. PROVIDE WALL PROTECTION TO MATCH EXISTING.
32. PROVIDE NEW CEILING AS SCHEDULED.
33. PROVIDE GYPSUM BOARD/STEEL STUD FRAMED FUR-DOWN AS DETAILED.
34. PROVIDE 2' X 2' RAISED FLOOR SYSTEM AT 10" ABOVE THE 4TH FLOOR LEVEL.
35. ELECTRICAL CONDUITS AND MECHANICAL PIPING PER MEP DRAWINGS.
36. PROVIDE 5/8" GYPSUM BOARD WHERE EXISTING TILE WAINSCOT AND SUBSTRATE WAS REMOVED. TEXTURE AND FINISH TO MATCH EXISTING ADJACENT WALLS (4'-0"± HIGH. LOCATE AS INDICATED BY HEAVY LINE).
37. TEXTURE AND FINISH EXISTING GYPSUM BOARD SUBSTRATE TO MATCH EXISTING ADJACENT WALLS.
38. GYPSUM BOARD ASSEMBLY INFILL AS DETAILED AT EXISTING WINDOW OPENING.
39. PROVIDE INFILL PER KEYED NOTE 29 AT VOID LEFT BY HEATER REMOVED.
40. PROVIDE 1" THICK MINIMUM CONCRETE INFILL FLUSH WITH EXISTING CONCRETE TOPPING WHERE PORTIONS OF EXISTING CMU WALLS ARE REMOVED.
41. PROVIDE PAINTED WOOD CHAIR RAIL TO MATCH EXISTING.
42. REINSTALLED EXISTING SHELF.
43. PROVIDE GYPSUM BOARD/METAL STUD FRAMED CHASE FROM FLOORS ABOVE. MINIMIZE SIZE AND REFERENCE MEP DRAWINGS FOR COMPONENTS TO BE IN CHASE.
44. RAMP AND RAILS BY RAISED FLOOR SYSTEM MANUFACTURER.
45. ROOM PERIMETER WALLS TO BE FULLY SEALED TOP AND BOTTOM ON BOTH SIDES OF WALL. EXTERIOR WALL SEAL INTERIOR SIDE ONLY.

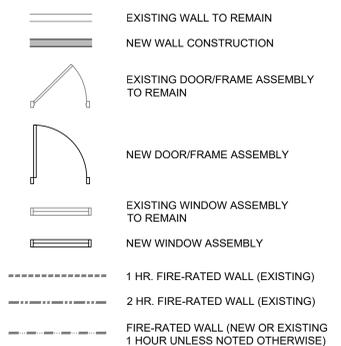
GENERAL NOTES - RENOVATION

1. REFERENCE GENERAL NOTES ON SHEET GI-004.
2. UNLESS NOTED OTHERWISE, ALL EXISTING WALLS ARE 5/8" GYPSUM BOARD/3/8" METAL STUD FRAMED TO UNDERSIDE OF PRIMARY BUILDING FRAMING STRUCTURE (1 HR. FIRE RATED - CONSTRUCTION SIMILAR TO U.I. DESIGN NO. U465). CONTRACTOR TO VERIFY.
3. UNLESS NOTED OTHERWISE, ALL EXISTING DOOR ASSEMBLIES ARE SOLID CORE WOOD DOORS/HOLLOW METAL FRAME TYPICAL (3'-0" X 7'-0").
4. UNLESS NOTED OTHERWISE ALL EXISTING LAY-IN CEILING ASSEMBLIES ARE 2' X 2' STANDARD GRID WITH FISSURED TILES AT 8'-0" A.F.F. TYPICAL.
5. UNLESS NOTED OTHERWISE, ALL EXISTING STEEL COLUMN FUR-OUTS ARE GYPSUM BOARD/METAL STUD FRAMED TYPICAL.
6. PARTIAL OR ENTIRE RECONSTRUCTION OF SOME EXISTING CEILING ASSEMBLIES THROUGH OUT THE ENTIRE BUILDING(S), ESPECIALLY IN CORRIDORS, WILL BE NECESSARY. REFERENCE ALL DISCIPLINE DEMOLITION DRAWINGS. RECONSTRUCTION IS TO INCLUDE MISCELLANEOUS PATCHING /REPAIR TO MATCH EXISTING OR BETTER CONDITIONS.
7. EXISTING FIRE-RATED WALL IDENTIFICATION INDICATED ONLY FOR IMMEDIATE AFFECTED ROOM WALLS. CONTRACTOR SHALL VERIFY FULL EXTENT OF EXISTING FIRE-RATED WALLS AT ADJACENT AREAS.
8. ALL NEW WALLS SHALL BE PARTITION TYPE '1' UNLESS OTHERWISE NOTED.
9. UNLESS NOTED OTHERWISE AT ALL ROOMS WHERE EXISTING CEILING ASSEMBLIES ARE REMOVED AND IS TO BECOME A "NO CEILING" ROOM, THE EXISTING GYPSUM BOARD ABOVE, PREVIOUSLY REMOVED CEILING IS TO BE FULLY TAPED, FLOATED, TEXTURED AND PAINTED TO MATCH EXISTING WALLS.

KEYED NOTES - RENOVATION (CONT.)

46. TEMPORARY ALUMINUM RAMP BY CONTRACTOR TO BE RETURNED TO OWNER AT END OF JOB.
47. MODULAR BRICK INFILL ON EXTERIOR TO MATCH EXISTING. TOOTH-IN AND MATCH MORTAR.

LEGEND - RENOVATION



Revisions:	Date:

CONSULTANT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com

PROJECT MANAGEMENT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com



Construction and Facilities Management

Drawing Title
ENLARGED FLOOR PLANS - BASEMENT FLOOR RENOVATION

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLERED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST., CINCINNATI, OH

Issue Date
4-MAY-2022

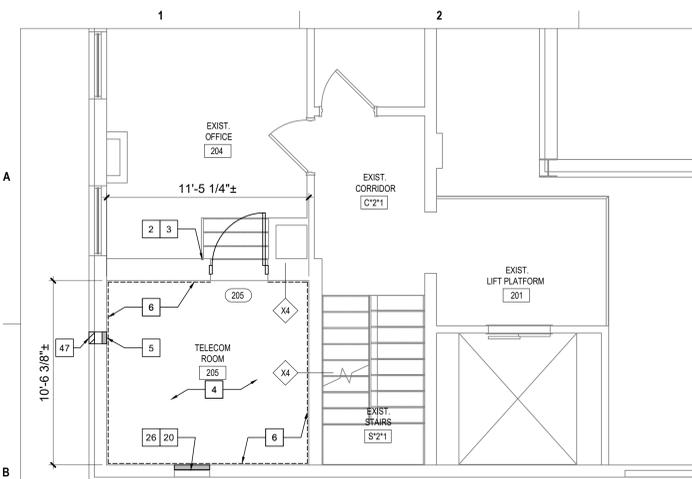
Checked

Drawn
IAR

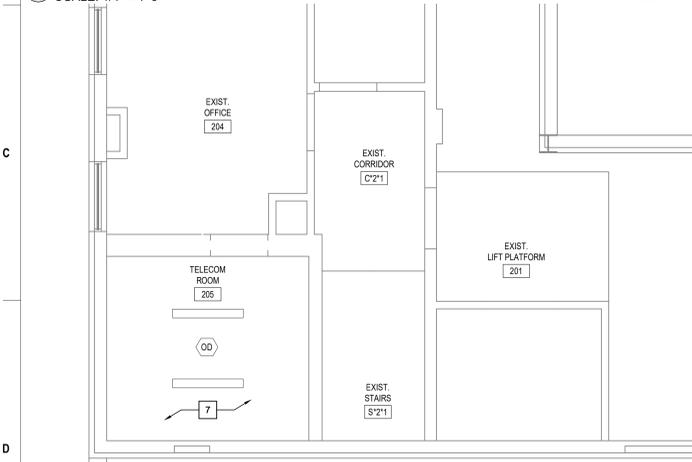
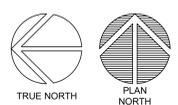
Project Number
539-21-701

Building Number
C3

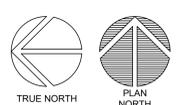
Drawing Number
AS-450-C.3.B



1 TELECOM ROOM 205 - ROOM RENOVATION
SCALE: 1/4" = 1'-0"



2 TELECOM ROOM 205 - CEILING RENOVATION
SCALE: 1/4" = 1'-0"



KEYED NOTES - RENOVATION

1. EXISTING DOOR/FRAME ASSEMBLY TO REMAIN.
2. PROVIDE CARD READER.
3. PROVIDE ROOM SIGNAGE.
4. PROVIDE NEW FLOORING AND BASE AS SCHEDULED.
5. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE IN THIS ROOM THAT MAY REQUIRE MINOR DEMOLITION, PATCHING AND REPAIR OF EXISTING FLOOR SUBSTRATE, WALL OR MISCELLANEOUS ASSEMBLIES.
6. PROVIDE 8"x4"x3/4" AC FACED FIRE-RATED PLYWOOD VERTICALLY ON ALL WALLS AS INDICATED. PAINT WITH 2 COATS MIN. FIRE-RATED PAINT. COORDINATE EXACT LOCATION A.F.F. WITH TECHNOLOGY AND ELECTRICAL DRAWINGS AND EXISTING CONDITIONS.
7. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE OF EXISTING AND NEW COMPONENTS AT CEILING LEVEL.
8. EXISTING FLOOR AND BASE TO REMAIN. REPAIR AS NECESSARY TO MATCH EXISTING CONDITIONS OR BETTER.
9. EXISTING VCT FLOORING AND RUBBER BASE TO REMAIN.
10. LIMITED RENOVATION TO EXISTING CEILING ASSEMBLY PER MEP AND TECHNOLOGY DRAWINGS WORK SCOPE.
11. RELOCATED EXISTING MARKER BOARD.
12. RELOCATED EXISTING MILLWORK.
13. CEILING FUR-DOWN ABOVE.
14. NEW GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO MATCH EXISTING HEIGHT. NO JOINTS UNLESS NOTED OTHERWISE.
15. RELOCATED EXISTING LIGHT FIXTURE.
16. RELOCATED EXISTING TV MONITOR.
17. EXISTING ALUMINUM FLOOR AND WALL (EACH SIDE) EXPANSION JOINT COVERS TO REMAIN.
18. EXISTING GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO REMAIN.
19. RELOCATED EXISTING FIRE EXTINGUISHER.
20. EXISTING EXTERIOR WINDOW TO REMAIN.
21. REINSTALL EXISTING SALVAGED WOOD BASE AND CHAIR RAIL. PROVIDE BALANCE OF MATERIAL AS NEEDED TO COMPLETE JOB. PAINT ALL BASE AND CHAIR RAIL IN ENTIRE ROOM.
22. EXISTING PLASTER ON CMU TO UNDERSIDE OF EXISTING STRUCTURE (4" OR 8" CMU PER WALL THICKNESS DEPICTED GRAPHICALLY). FIRE-RATED WALL. CONTRACTOR VERIFY.
23. EXISTING ROOM SIGNAGE.
24. EXISTING CARD READER.
25. REFERENCE DOOR SCHEDULE.
26. PAINT INTERIOR SIDE OF EXISTING WINDOW GLAZING ONLY "FLAT BLACK".
27. REINSTALLED EXISTING ROOM SIGNAGE.
28. REINSTALLED EXISTING CARD READER.
29. PLASTER ASSEMBLY INFILL AT EXISTING WALL AS DETAILED AT EXISTING WINDOW OPENING.
30. ENSURE EXISTING WALL VENT IS SECURELY CLOSED SHUT PRIOR TO COVER-UP.
31. PROVIDE WALL PROTECTION TO MATCH EXISTING.
32. PROVIDE NEW CEILING AS SCHEDULED.
33. PROVIDE GYPSUM BOARD/STEEL STUD FRAMED FUR-DOWN AS DETAILED.
34. PROVIDE 2' X 2' RAISED FLOOR SYSTEM AT 10" ABOVE THE 4TH FLOOR LEVEL.
35. ELECTRICAL CONDUITS AND MECHANICAL PIPING PER MEP DRAWINGS.
36. PROVIDE 5/8" GYPSUM BOARD WHERE EXISTING TILE WAINSCOT AND SUBSTRATE WAS REMOVED. TEXTURE AND FINISH TO MATCH EXISTING ADJACENT WALLS (4'-0"± HIGH. LOCATE AS INDICATED BY HEAVY LINE).
37. TEXTURE AND FINISH EXISTING GYPSUM BOARD SUBSTRATE TO MATCH EXISTING ADJACENT WALLS.
38. GYPSUM BOARD ASSEMBLY INFILL AS DETAILED AT EXISTING WINDOW OPENING.
39. PROVIDE INFILL PER KEYED NOTE 29 AT VOID LEFT BY HEATER REMOVED.
40. PROVIDE 1" THICK MINIMUM CONCRETE INFILL FLUSH WITH EXISTING CONCRETE TOPPING WHERE PORTIONS OF EXISTING CMU WALLS ARE REMOVED.
41. PROVIDE PAINTED WOOD CHAIR RAIL TO MATCH EXISTING.
42. REINSTALLED EXISTING SHELF.
43. PROVIDE GYPSUM BOARD/METAL STUD FRAMED CHASE FROM FLOORS ABOVE. MINIMIZE SIZE AND REFERENCE MEP DRAWINGS FOR COMPONENTS TO BE IN CHASE.
44. RAMP AND RAILS BY RAISED FLOOR SYSTEM MANUFACTURER.
45. ROOM PERIMETER WALLS TO BE FULLY SEALED TOP AND BOTTOM ON BOTH SIDES OF WALL. EXTERIOR WALL SEAL INTERIOR SIDE ONLY.

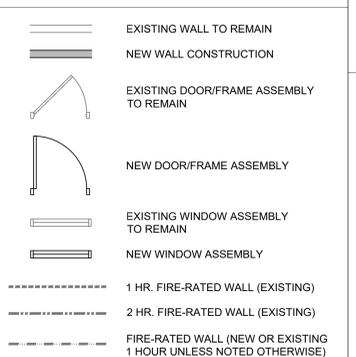
GENERAL NOTES - RENOVATION

1. REFERENCE GENERAL NOTES ON SHEET GI-004.
2. UNLESS NOTED OTHERWISE, ALL EXISTING WALLS ARE 5/8" GYPSUM BOARD/3 5/8" METAL STUD FRAMED TO UNDERSIDE OF PRIMARY BUILDING FRAMING STRUCTURE (1 HR. FIRE RATED - CONSTRUCTION SIMILAR TO U.I. DESIGN NO. U465). CONTRACTOR TO VERIFY.
3. UNLESS NOTED OTHERWISE, ALL EXISTING DOOR ASSEMBLIES ARE SOLID CORE WOOD DOORS/HOLLOW METAL FRAME TYPICAL (3'-0" X 7'-0").
4. UNLESS NOTED OTHERWISE ALL EXISTING LAY-IN CEILING ASSEMBLIES ARE 2' X 2' STANDARD GRID WITH FISSURED TILES AT 8'-0" A.F.F. TYPICAL.
5. UNLESS NOTED OTHERWISE, ALL EXISTING STEEL COLUMN FUR-OUTS ARE GYPSUM BOARD/METAL STUD FRAMED TYPICAL.
6. PARTIAL OR ENTIRE RECONSTRUCTION OF SOME EXISTING CEILING ASSEMBLIES THROUGH OUT THE ENTIRE BUILDING(S), ESPECIALLY IN CORRIDORS, WILL BE NECESSARY. REFERENCE ALL DISCIPLINE DEMOLITION DRAWINGS. RECONSTRUCTION IS TO INCLUDE MISCELLANEOUS PATCHING /REPAIR TO MATCH EXISTING OR BETTER CONDITIONS.
7. EXISTING FIRE-RATED WALL IDENTIFICATION INDICATED ONLY FOR IMMEDIATE AFFECTED ROOM WALLS. CONTRACTOR SHALL VERIFY FULL EXTENT OF EXISTING FIRE-RATED WALLS AT ADJACENT AREAS.
8. ALL NEW WALLS SHALL BE PARTITION TYPE '1' UNLESS OTHERWISE NOTED.
9. UNLESS NOTED OTHERWISE AT ALL ROOMS WHERE EXISTING LAY-IN CEILING IS REMOVED AND IS TO BECOME A "NO CEILING" ROOM, THE EXISTING GYPSUM BOARD ABOVE, PREVIOUSLY REMOVED CEILING IS TO BE FULLY TAPED, FLOATED, TEXTURED AND PAINTED TO MATCH EXISTING WALLS.

KEYED NOTES - RENOVATION (CONT.)

46. TEMPORARY ALUMINUM RAMP BY CONTRACTOR TO BE RETURNED TO OWNER AT END OF JOB.
47. MODULAR BRICK INFILL ON EXTERIOR TO MATCH EXISTING. TOOTH-IN AND MATCH MORTAR.

LEGEND - RENOVATION



Revisions:	Date:

CONSULTANT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com

PROJECT MANAGEMENT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com



Construction and Facilities Management

Drawing Title
ENLARGED FLOOR PLANS - 2ND FLOOR RENOVATION

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLERED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST., CINCINNATI, OH

Issue Date
4-MAY-2022

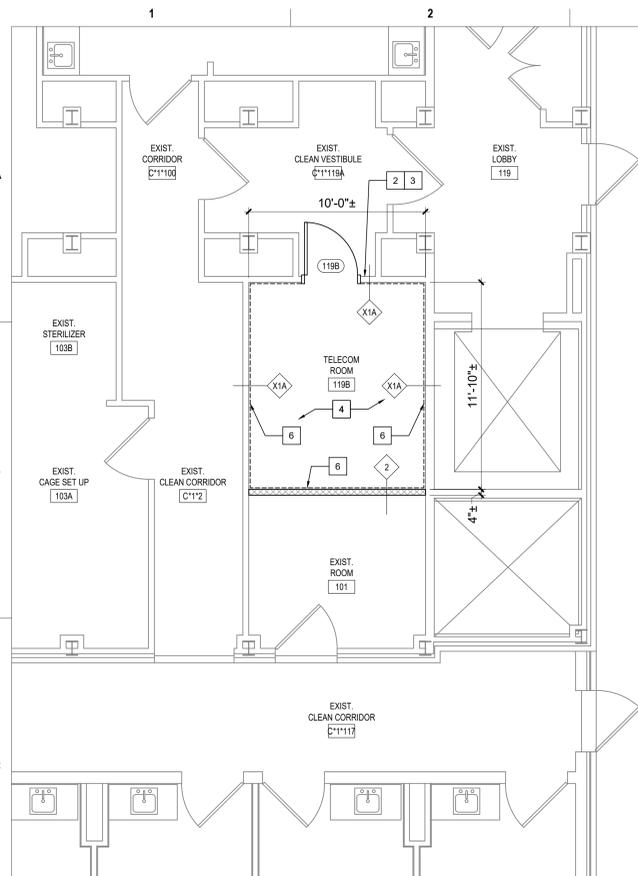
Checked

Drawn
IAR

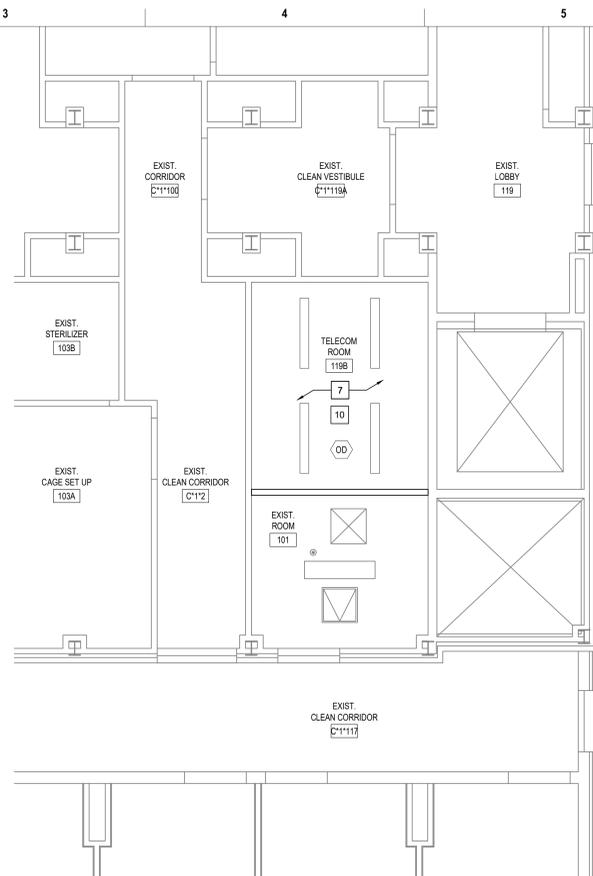
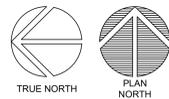
Project Number
539-21-701

Building Number
C8

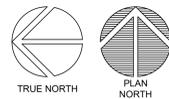
Drawing Number
AS-460-C.8.2



1 TELECOM ROOM 119B - ROOM RENOVATION
SCALE: 1/4" = 1'-0"



2 TELECOM ROOM 119B - CEILING RENOVATION
SCALE: 1/4" = 1'-0"



KEYED NOTES - RENOVATION

1. EXISTING DOOR/FRAME ASSEMBLY TO REMAIN.
2. PROVIDE CARD READER.
3. PROVIDE ROOM SIGNAGE.
4. PROVIDE NEW FLOORING AND BASE AS SCHEDULED.
5. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE IN THIS ROOM THAT MAY REQUIRE MINOR DEMOLITION, PATCHING AND REPAIR OF EXISTING FLOOR SUBSTRATE, WALL OR MISCELLANEOUS ASSEMBLIES.
6. PROVIDE 8"x4"x3/4" AC FACED FIRE-RATED PLYWOOD VERTICALLY ON ALL WALLS AS INDICATED. PAINT WITH 2 COATS MIN. FIRE-RATED PAINT. COORDINATE EXACT LOCATION A.F.F. WITH TECHNOLOGY AND ELECTRICAL DRAWINGS AND EXISTING CONDITIONS.
7. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE OF EXISTING AND NEW COMPONENTS AT CEILING LEVEL.
8. EXISTING FLOOR AND BASE TO REMAIN. REPAIR AS NECESSARY TO MATCH EXISTING CONDITIONS OR BETTER.
9. EXISTING VCT FLOORING AND RUBBER BASE TO REMAIN.
10. EXISTING RENOVATION TO EXISTING CEILING ASSEMBLY PER MEP AND TECHNOLOGY DRAWINGS WORK SCOPE.
11. RELOCATED EXISTING MARKER BOARD.
12. RELOCATED EXISTING MILLWORK.
13. CEILING FUR-DOWN ABOVE.
14. NEW GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO MATCH EXISTING HEIGHT. NO JOINTS UNLESS NOTED OTHERWISE.
15. RELOCATED EXISTING LIGHT FIXTURE.
16. RELOCATED EXISTING TV MONITOR.
17. EXISTING ALUMINUM FLOOR AND WALL (EACH SIDE) EXPANSION JOINT COVERS TO REMAIN.
18. EXISTING GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO REMAIN.
19. RELOCATED EXISTING FIRE EXTINGUISHER.
20. EXISTING EXTERIOR WINDOW TO REMAIN.
21. REINSTALL EXISTING SALVAGED WOOD BASE AND CHAIR RAIL. PROVIDE BALANCE OF MATERIAL AS NEEDED TO COMPLETE JOB. PAINT ALL BASE AND CHAIR RAIL IN ENTIRE ROOM.
22. EXISTING PLASTER ON CMU TO UNDERSIDE OF EXISTING STRUCTURE (4" OR 8" CMU PER WALL THICKNESS DEPICTED GRAPHICALLY). FIRE-RATED WALL. CONTRACTOR VERIFY.
23. EXISTING ROOM SIGNAGE.
24. EXISTING CARD READER.
25. REFERENCE DOOR SCHEDULE.
26. PAINT INTERIOR SIDE OF EXISTING WINDOW GLAZING ONLY "FLAT BLACK".
27. REINSTALLED EXISTING ROOM SIGNAGE.
28. REINSTALLED EXISTING CARD READER.
29. PLASTER ASSEMBLY INFILL AT EXISTING WALL AS DETAILED AT EXISTING WINDOW OPENING.
30. ENSURE EXISTING WALL VENT IS SECURELY CLOSED SHUT PRIOR TO COVER-UP.
31. PROVIDE WALL PROTECTION TO MATCH EXISTING.
32. PROVIDE NEW CEILING AS SCHEDULED.
33. PROVIDE GYPSUM BOARD/STEEL STUD FRAMED FUR-DOWN AS DETAILED.
34. PROVIDE 2' X 2' RAISED FLOOR SYSTEM AT 10" ABOVE THE 4TH FLOOR LEVEL.
35. ELECTRICAL CONDUITS AND MECHANICAL PIPING PER MEP DRAWINGS.
36. PROVIDE 5/8" GYPSUM BOARD WHERE EXISTING TILE WAINSCOT AND SUBSTRATE WAS REMOVED. TEXTURE AND FINISH TO MATCH EXISTING ADJACENT WALLS (4'-0"± HIGH, LOCATE AS INDICATED BY HEAVY LINE).
37. TEXTURE AND FINISH EXISTING GYPSUM BOARD SUBSTRATE TO MATCH EXISTING ADJACENT WALLS.
38. GYPSUM BOARD ASSEMBLY INFILL AS DETAILED AT EXISTING WINDOW OPENING.
39. PROVIDE INFILL PER KEYED NOTE 29 AT VOID LEFT BY HEATER REMOVED.
40. PROVIDE 1" THICK MINIMUM CONCRETE INFILL FLUSH WITH EXISTING CONCRETE TOPPING WHERE PORTIONS OF EXISTING CMU WALLS ARE REMOVED.
41. PROVIDE PAINTED WOOD CHAIR RAIL TO MATCH EXISTING.
42. REINSTALLED EXISTING SHELF.
43. PROVIDE GYPSUM BOARD/METAL STUD FRAMED CHASE FROM FLOORS ABOVE. MINIMIZE SIZE AND REFERENCE MEP DRAWINGS FOR COMPONENTS TO BE IN CHASE.
44. RAMP AND RAILS BY RAISED FLOOR SYSTEM MANUFACTURER.
45. ROOM PERIMETER WALLS TO BE FULLY SEALED TOP AND BOTTOM ON BOTH SIDES OF WALL. EXTERIOR WALL SEAL INTERIOR SIDE ONLY.

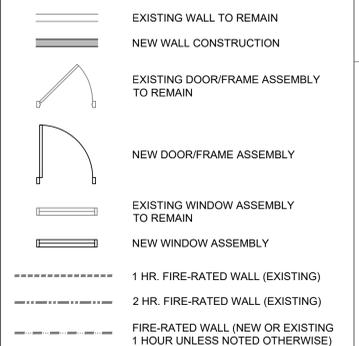
GENERAL NOTES - RENOVATION

1. REFERENCE GENERAL NOTES ON SHEET GI-004.
2. UNLESS NOTED OTHERWISE, ALL EXISTING WALLS ARE 5/8" GYPSUM BOARD/3/8" METAL STUD FRAMED TO UNDERSIDE OF PRIMARY BUILDING FRAMING STRUCTURE (1 HR. FIRE RATED - CONSTRUCTION SIMILAR TO U.I. DESIGN NO. U465). CONTRACTOR TO VERIFY.
3. UNLESS NOTED OTHERWISE, ALL EXISTING DOOR ASSEMBLIES ARE SOLID CORE WOOD DOORS/HOLLOW METAL FRAME TYPICAL (3'-0" X 7'-0").
4. UNLESS NOTED OTHERWISE ALL EXISTING LAY-IN CEILING ASSEMBLIES ARE 2' X 2' STANDARD GRID WITH FISSURED TILES AT 8'-0" A.F.F. TYPICAL.
5. UNLESS NOTED OTHERWISE, ALL EXISTING STEEL COLUMN FUR-OUTS ARE GYPSUM BOARD/METAL STUD FRAMED TYPICAL.
6. PARTIAL OR ENTIRE RECONSTRUCTION OF SOME EXISTING CEILING ASSEMBLIES THROUGHOUT THE ENTIRE BUILDING(S), ESPECIALLY IN CORRIDORS, WILL BE NECESSARY. REFERENCE ALL DISCIPLINE DEMOLITION DRAWINGS. RECONSTRUCTION IS TO INCLUDE MISCELLANEOUS PATCHING /REPAIR TO MATCH EXISTING OR BETTER CONDITIONS.
7. EXISTING FIRE-RATED WALL IDENTIFICATION INDICATED ONLY FOR IMMEDIATE AFFECTED ROOM WALLS. CONTRACTOR SHALL VERIFY FULL EXTENT OF EXISTING FIRE-RATED WALLS AT ADJACENT AREAS.
8. ALL NEW WALLS SHALL BE PARTITION TYPE '1' UNLESS OTHERWISE NOTED.
9. UNLESS NOTED OTHERWISE AT ALL ROOMS WHERE EXISTING LAY-IN CEILING IS REMOVED AND IS TO BECOME A "NO CEILING" ROOM, THE EXISTING GYPSUM BOARD ABOVE, PREVIOUSLY REMOVED CEILING IS TO BE FULLY TAPED, FLOATED, TEXTURED AND PAINTED TO MATCH EXISTING WALLS.

KEYED NOTES - RENOVATION (CONT.)

46. TEMPORARY ALUMINUM RAMP BY CONTRACTOR TO BE RETURNED TO OWNER AT END OF JOB.
47. MODULAR BRICK INFILL ON EXTERIOR TO MATCH EXISTING. TOOTH-IN AND MATCH MORTAR.

LEGEND - RENOVATION



Revisions:	Date:

CONSULTANT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com

PROJECT MANAGEMENT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com



Construction and Facilities Management

Drawing Title
ENLARGED FLOOR PLANS - 1ST FLOOR RENOVATION

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLERED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST., CINCINNATI, OH

Issue Date
4-MAY-2022

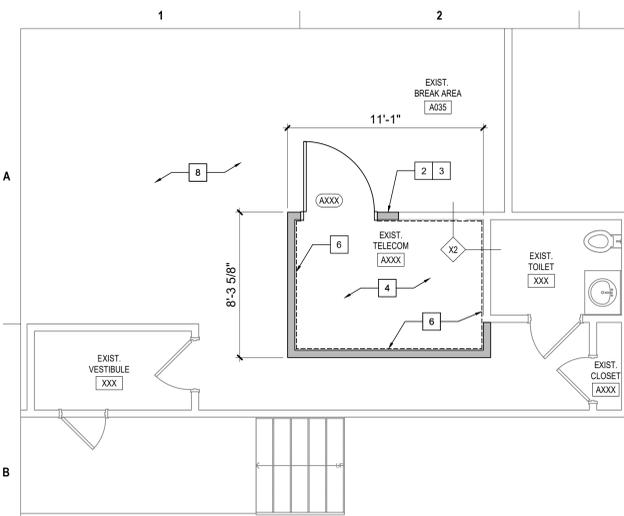
Checked

Drawn
IAR

Project Number
539-21-701

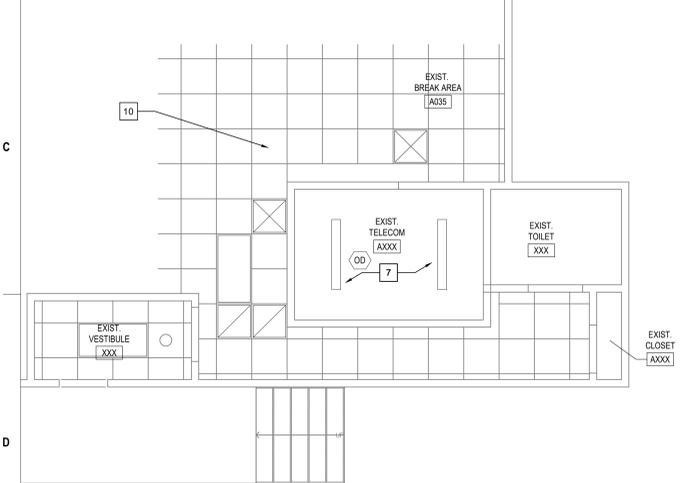
Building Number
C15

Drawing Number
AS-480-C.15.1



1 EXISTING XXX - ROOM RENOVATION
SCALE: 1/4" = 1'-0"

TRUE NORTH
PLAN NORTH



2 EXISTING XXX - CEILING RENOVATION
SCALE: 1/4" = 1'-0"

TRUE NORTH
PLAN NORTH

KEYED NOTES - RENOVATION

1. EXISTING DOOR/FRAME ASSEMBLY TO REMAIN.
2. PROVIDE CARD READER.
3. PROVIDE ROOM SIGNAGE.
4. PROVIDE NEW FLOORING AND BASE AS SCHEDULED.
5. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE IN THIS ROOM THAT MAY REQUIRE MINOR DEMOLITION, PATCHING AND REPAIR OF EXISTING FLOOR SUBSTRATE, WALL OR MISCELLANEOUS ASSEMBLIES.
6. PROVIDE 8"x4"x3/4" AC FACED FIRE-RATED PLYWOOD VERTICALLY ON ALL WALLS AS INDICATED. PAINT WITH 2 COATS MIN. FIRE-RATED PAINT. COORDINATE EXACT LOCATION A.F.F. WITH TECHNOLOGY AND ELECTRICAL DRAWINGS AND EXISTING CONDITIONS.
7. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE OF EXISTING AND NEW COMPONENTS AT CEILING LEVEL.
8. EXISTING FLOOR AND BASE TO REMAIN. REPAIR AS NECESSARY TO MATCH EXISTING CONDITIONS OR BETTER.
9. EXISTING VCT FLOORING AND RUBBER BASE TO REMAIN.
10. LIMITED RENOVATION TO EXISTING CEILING ASSEMBLY PER MEP AND TECHNOLOGY DRAWINGS WORK SCOPE.
11. RELOCATED EXISTING MARKER BOARD.
12. RELOCATED EXISTING MILLWORK.
13. CEILING FUR-DOWN ABOVE.
14. NEW GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO MATCH EXISTING HEIGHT. NO JOINTS UNLESS NOTED OTHERWISE.
15. RELOCATED EXISTING LIGHT FIXTURE.
16. RELOCATED EXISTING TV MONITOR.
17. EXISTING ALUMINUM FLOOR AND WALL (EACH SIDE) EXPANSION JOINT COVERS TO REMAIN.
18. EXISTING GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO REMAIN.
19. RELOCATED EXISTING FIRE EXTINGUISHER.
20. EXISTING EXTERIOR WINDOW TO REMAIN.
21. REINSTALL EXISTING SALVAGED WOOD BASE AND CHAIR RAIL. PROVIDE BALANCE OF MATERIAL AS NEEDED TO COMPLETE JOB. PAINT ALL BASE AND CHAIR RAIL IN ENTIRE ROOM.
22. EXISTING PLASTER ON CMU TO UNDERSIDE OF EXISTING STRUCTURE (4" OR 8" CMU PER WALL THICKNESS DEPICTED GRAPHICALLY). FIRE-RATED WALL. CONTRACTOR VERIFY.
23. EXISTING ROOM SIGNAGE.
24. EXISTING CARD READER.
25. REFERENCE DOOR SCHEDULE.
26. PAINT INTERIOR SIDE OF EXISTING WINDOW GLAZING ONLY "FLAT BLACK".
27. REINSTALLED EXISTING ROOM SIGNAGE.
28. REINSTALLED EXISTING CARD READER.
29. PLASTER ASSEMBLY INFILL AT EXISTING WALL AS DETAILED AT EXISTING WINDOW OPENING.
30. ENSURE EXISTING WALL VENT IS SECURELY CLOSED SHUT PRIOR TO COVER-UP.
31. PROVIDE WALL PROTECTION TO MATCH EXISTING.
32. PROVIDE NEW CEILING AS SCHEDULED.
33. PROVIDE GYPSUM BOARD/STEEL STUD FRAMED FUR-DOWN AS DETAILED.
34. PROVIDE 2' X 2' RAISED FLOOR SYSTEM AT 10" ABOVE THE 4TH FLOOR LEVEL.
35. ELECTRICAL CONDUITS AND MECHANICAL PIPING PER MEP DRAWINGS.
36. PROVIDE 5/8" GYPSUM BOARD WHERE EXISTING TILE WAINSCOT AND SUBSTRATE WAS REMOVED. TEXTURE AND FINISH TO MATCH EXISTING ADJACENT WALLS (4'-0"± HIGH. LOCATE AS INDICATED BY HEAVY LINE).
37. TEXTURE AND FINISH EXISTING GYPSUM BOARD SUBSTRATE TO MATCH EXISTING ADJACENT WALLS.
38. GYPSUM BOARD ASSEMBLY INFILL AS DETAILED AT EXISTING WINDOW OPENING.
39. PROVIDE INFILL PER KEYED NOTE 29 AT VOID LEFT BY HEATER REMOVED.
40. PROVIDE 1" THICK MINIMUM CONCRETE INFILL FLUSH WITH EXISTING CONCRETE TOPPING WHERE PORTIONS OF EXISTING CMU WALLS ARE REMOVED.
41. PROVIDE PAINTED WOOD CHAIR RAIL TO MATCH EXISTING.
42. REINSTALLED EXISTING SHELF.
43. PROVIDE GYPSUM BOARD/METAL STUD FRAMED CHASE FROM FLOORS ABOVE. MINIMIZE SIZE AND REFERENCE MEP DRAWINGS FOR COMPONENTS TO BE IN CHASE.
44. RAMP AND RAILS BY RAISED FLOOR SYSTEM MANUFACTURER.
45. ROOM PERIMETER WALLS TO BE FULLY SEALED TOP AND BOTTOM ON BOTH SIDES OF WALL. EXTERIOR WALL SEAL INTERIOR SIDE ONLY.

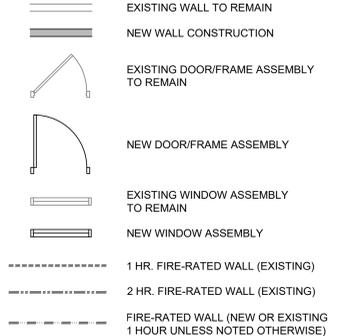
GENERAL NOTES - RENOVATION

1. REFERENCE GENERAL NOTES ON SHEET GI-004.
2. UNLESS NOTED OTHERWISE, ALL EXISTING WALLS ARE 5/8" GYPSUM BOARD/3/8" METAL STUD FRAMED TO UNDERSIDE OF PRIMARY BUILDING FRAMING STRUCTURE (1 HR. FIRE RATED - CONSTRUCTION SIMILAR TO U.I. DESIGN NO. U465). CONTRACTOR TO VERIFY.
3. UNLESS NOTED OTHERWISE, ALL EXISTING DOOR ASSEMBLIES ARE SOLID CORE WOOD DOORS/HOLLOW METAL FRAME TYPICAL (3'-0" X 7'-0").
4. UNLESS NOTED OTHERWISE ALL EXISTING LAY-IN CEILING ASSEMBLIES ARE 2' X 2' STANDARD GRID WITH FISSURED TILES AT 8'-0" A.F.F. TYPICAL.
5. UNLESS NOTED OTHERWISE, ALL EXISTING STEEL COLUMN FUR-OUTS ARE GYPSUM BOARD/METAL STUD FRAMED TYPICAL.
6. PARTIAL OR ENTIRE RECONSTRUCTION OF SOME EXISTING CEILING ASSEMBLIES THROUGH OUT THE ENTIRE BUILDING(S), ESPECIALLY IN CORRIDORS, WILL BE NECESSARY. REFERENCE ALL DISCIPLINE DEMOLITION DRAWINGS. RECONSTRUCTION IS TO INCLUDE MISCELLANEOUS PATCHING /REPAIR TO MATCH EXISTING OR BETTER CONDITIONS.
7. EXISTING FIRE-RATED WALL IDENTIFICATION INDICATED ONLY FOR IMMEDIATE AFFECTED ROOM WALLS. CONTRACTOR SHALL VERIFY FULL EXTENT OF EXISTING FIRE-RATED WALLS AT ADJACENT AREAS.
8. ALL NEW WALLS SHALL BE PARTITION TYPE '1' UNLESS OTHERWISE NOTED.
9. UNLESS NOTED OTHERWISE AT ALL ROOMS WHERE EXISTING LAY-IN CEILING IS REMOVED AND IS TO BECOME A "NO CEILING" ROOM, THE EXISTING GYPSUM BOARD ABOVE PREVIOUSLY REMOVED CEILING IS TO BE FULLY TAPED, FLOATED, TEXTURED AND PAINTED TO MATCH EXISTING WALLS.

KEYED NOTES - RENOVATION (CONT.)

46. TEMPORARY ALUMINUM RAMP BY CONTRACTOR TO BE RETURNED TO OWNER AT END OF JOB.
47. MODULAR BRICK INFILL ON EXTERIOR TO MATCH EXISTING. TOOTH-IN AND MATCH MORTAR.

LEGEND - RENOVATION



Revisions:	Date:

CONSULTANT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com

PROJECT MANAGEMENT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com



Construction and Facilities Management

Drawing Title
ENLARGED FLOOR PLANS - 1ST FLOOR RENOVATION

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLERED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST., CINCINNATI, OH

Issue Date
4-MAY-2022

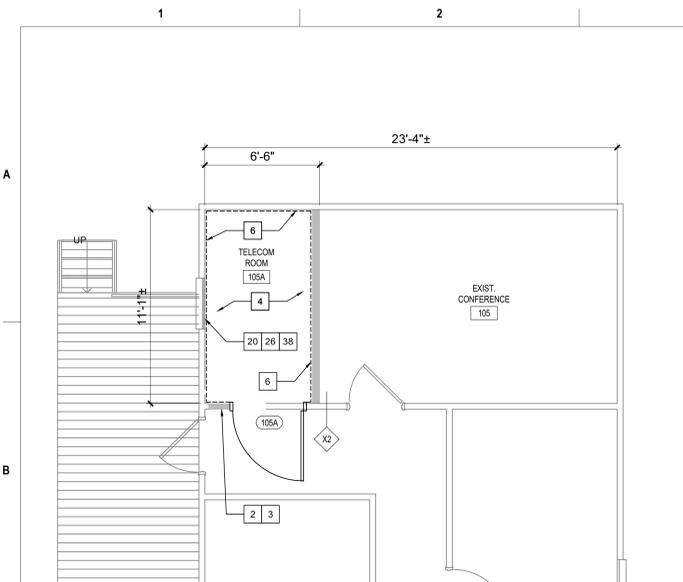
Checked

Drawn
IAR

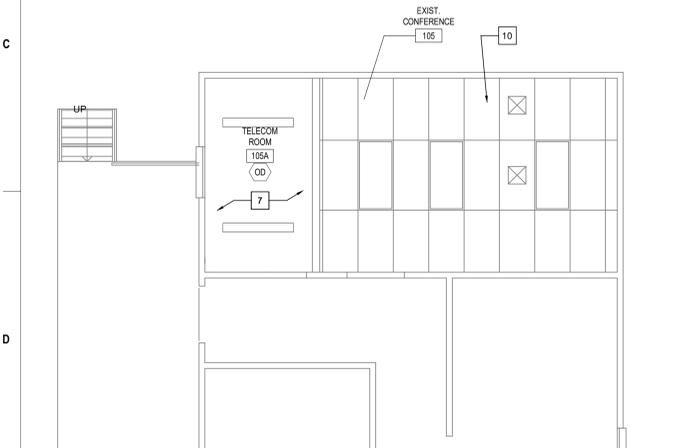
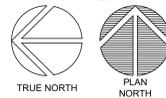
Project Number
539-21-701

Building Number
C TB

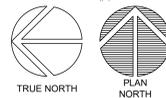
Drawing Number
AS-490-C.TB.1



1 TELECOM ROOM 105A - ROOM RENOVATION
SCALE: 1/4" = 1'-0"



2 TELECOM ROOM 105A - CEILING RENOVATION
SCALE: 1/4" = 1'-0"



KEYED NOTES - RENOVATION

1. EXISTING DOOR/FRAME ASSEMBLY TO REMAIN.
2. PROVIDE CARD READER.
3. PROVIDE ROOM SIGNAGE.
4. PROVIDE NEW FLOORING AND BASE AS SCHEDULED.
5. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE IN THIS ROOM THAT MAY REQUIRE MINOR DEMOLITION, PATCHING AND REPAIR OF EXISTING FLOOR SUBSTRATE, WALL OR MISCELLANEOUS ASSEMBLIES.
6. PROVIDE 8"x4"x3/4" AC FACED FIRE-RATED PLYWOOD VERTICALLY ON ALL WALLS AS INDICATED. PAINT WITH 2 COATS MIN. FIRE-RATED PAINT. COORDINATE EXACT LOCATION A.F.F. WITH TECHNOLOGY AND ELECTRICAL DRAWINGS AND EXISTING CONDITIONS.
7. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE OF EXISTING AND NEW COMPONENTS AT CEILING LEVEL.
8. EXISTING FLOOR AND BASE TO REMAIN. REPAIR AS NECESSARY TO MATCH EXISTING CONDITIONS OR BETTER.
9. EXISTING VCT FLOORING AND RUBBER BASE TO REMAIN.
10. LIMITED RENOVATION TO EXISTING CEILING ASSEMBLY PER MEP AND TECHNOLOGY DRAWINGS WORK SCOPE.
11. RELOCATED EXISTING MARKER BOARD.
12. RELOCATED EXISTING MILLWORK.
13. CEILING FUR-DOWN ABOVE.
14. NEW GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO MATCH EXISTING HEIGHT. NO JOINTS UNLESS NOTED OTHERWISE.
15. RELOCATED EXISTING LIGHT FIXTURE.
16. RELOCATED EXISTING TV MONITOR.
17. EXISTING ALUMINUM FLOOR AND WALL (EACH SIDE) EXPANSION JOINT COVERS TO REMAIN.
18. EXISTING GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO REMAIN.
19. RELOCATED EXISTING FIRE EXTINGUISHER.
20. EXISTING EXTERIOR WINDOW TO REMAIN.
21. REINSTALL EXISTING SALVAGED WOOD BASE AND CHAIR RAIL. PROVIDE BALANCE OF MATERIAL AS NEEDED TO COMPLETE JOB. PAINT ALL BASE AND CHAIR RAIL IN ENTIRE ROOM.
22. EXISTING PLASTER ON CMU TO UNDERSIDE OF EXISTING STRUCTURE (4" OR 8" CMU PER WALL THICKNESS DEPICTED GRAPHICALLY). FIRE-RATED WALL. CONTRACTOR VERIFY.
23. EXISTING ROOM SIGNAGE.
24. EXISTING CARD READER.
25. REFERENCE DOOR SCHEDULE.
26. PAINT INTERIOR SIDE OF EXISTING WINDOW GLAZING ONLY "FLAT BLACK".
27. REINSTALLED EXISTING ROOM SIGNAGE.
28. REINSTALLED EXISTING CARD READER.
29. PLASTER ASSEMBLY INFILL AT EXISTING WALL AS DETAILED AT EXISTING WINDOW OPENING.
30. ENSURE EXISTING WALL VENT IS SECURELY CLOSED SHUT PRIOR TO COVER-UP.
31. PROVIDE WALL PROTECTION TO MATCH EXISTING.
32. PROVIDE NEW CEILING AS SCHEDULED.
33. PROVIDE GYPSUM BOARD/STEEL STUD FRAMED FUR-DOWN AS DETAILED.
34. PROVIDE 2' X 2' RAISED FLOOR SYSTEM AT 10" ABOVE THE 4TH FLOOR LEVEL.
35. ELECTRICAL CONDUITS AND MECHANICAL PIPING PER MEP DRAWINGS.
36. PROVIDE 5/8" GYPSUM BOARD WHERE EXISTING TILE WAINSCOT AND SUBSTRATE WAS REMOVED. TEXTURE AND FINISH TO MATCH EXISTING ADJACENT WALLS (4'-0"± HIGH. LOCATE AS INDICATED BY HEAVY LINE).
37. TEXTURE AND FINISH EXISTING GYPSUM BOARD SUBSTRATE TO MATCH EXISTING ADJACENT WALLS.
38. GYPSUM BOARD ASSEMBLY INFILL AS DETAILED AT EXISTING WINDOW OPENING.
39. PROVIDE INFILL PER KEYED NOTE 29 AT VOID LEFT BY HEATER REMOVED.
40. PROVIDE 1" THICK MINIMUM CONCRETE INFILL FLUSH WITH EXISTING CONCRETE TOPPING WHERE PORTIONS OF EXISTING CMU WALLS ARE REMOVED.
41. PROVIDE PAINTED WOOD CHAIR RAIL TO MATCH EXISTING.
42. REINSTALLED EXISTING SHELF.
43. PROVIDE GYPSUM BOARD/METAL STUD FRAMED CHASE FROM FLOORS ABOVE. MINIMIZE SIZE AND REFERENCE MEP DRAWINGS FOR COMPONENTS TO BE IN CHASE.
44. RAMP AND RAILS BY RAISED FLOOR SYSTEM MANUFACTURER.
45. ROOM PERIMETER WALLS TO BE FULLY SEALED TOP AND BOTTOM ON BOTH SIDES OF WALL. EXTERIOR WALL SEAL INTERIOR SIDE ONLY.

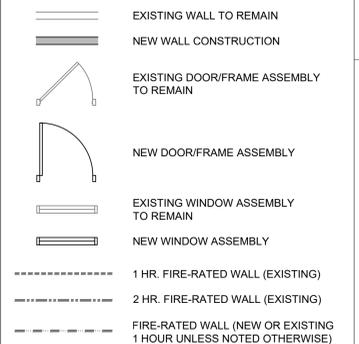
GENERAL NOTES - RENOVATION

1. REFERENCE GENERAL NOTES ON SHEET GI-004.
2. UNLESS NOTED OTHERWISE, ALL EXISTING WALLS ARE 5/8" GYPSUM BOARD/3/8" METAL STUD FRAMED TO UNDERSIDE OF PRIMARY BUILDING FRAMING STRUCTURE (1 HR. FIRE RATED - CONSTRUCTION SIMILAR TO U.I. DESIGN NO. U465). CONTRACTOR TO VERIFY.
3. UNLESS NOTED OTHERWISE, ALL EXISTING DOOR ASSEMBLIES ARE SOLID CORE WOOD DOORS/HOLLOW METAL FRAME TYPICAL (3'-0" X 7'-0").
4. UNLESS NOTED OTHERWISE ALL EXISTING LAY-IN CEILING ASSEMBLIES ARE 2' X 2' STANDARD GRID WITH FISSURED TILES AT 8'-0" A.F.F. TYPICAL.
5. UNLESS NOTED OTHERWISE, ALL EXISTING STEEL COLUMN FUR-OUTS ARE GYPSUM BOARD/METAL STUD FRAMED TYPICAL.
6. PARTIAL OR ENTIRE RECONSTRUCTION OF SOME EXISTING CEILING ASSEMBLIES THROUGH OUT THE ENTIRE BUILDING(S), ESPECIALLY IN CORRIDORS, WILL BE NECESSARY. REFERENCE ALL DISCIPLINE DEMOLITION DRAWINGS. RECONSTRUCTION IS TO INCLUDE MISCELLANEOUS PATCHING /REPAIR TO MATCH EXISTING OR BETTER CONDITIONS.
7. EXISTING FIRE-RATED WALL IDENTIFICATION INDICATED ONLY FOR IMMEDIATE AFFECTED ROOM WALLS. CONTRACTOR SHALL VERIFY FULL EXTENT OF EXISTING FIRE-RATED WALLS AT ADJACENT AREAS.
8. ALL NEW WALLS SHALL BE PARTITION TYPE '1' UNLESS OTHERWISE NOTED.
9. UNLESS NOTED OTHERWISE AT ALL ROOMS WHERE EXISTING LAY-IN CEILING IS REMOVED AND IS TO BECOME A "NO CEILING" ROOM, THE EXISTING GYPSUM BOARD ABOVE PREVIOUSLY REMOVED CEILING IS TO BE FULLY TAPED, FLOATED, TEXTURED AND PAINTED TO MATCH EXISTING WALLS.

KEYED NOTES - RENOVATION (CONT.)

46. TEMPORARY ALUMINUM RAMP BY CONTRACTOR TO BE RETURNED TO OWNER AT END OF JOB.
47. MODULAR BRICK INFILL ON EXTERIOR TO MATCH EXISTING. TOOTH-IN AND MATCH MORTAR.

LEGEND - RENOVATION



Revisions:	Date:

CONSULTANT

8718 Botts Lane Phone: (210) 816-4784
San Antonio, Texas 78217 Fax: (210) 881-6808
www.hfscompany.com jbianco@hfscompany.com

PROJECT MANAGEMENT

8718 Botts Lane Phone: (210) 816-4784
San Antonio, Texas 78217 Fax: (210) 881-6808
www.hfscompany.com jbianco@hfscompany.com



Construction and Facilities Management

Drawing Title
ENLARGED FLOOR PLANS - 1ST FLOOR RENOVATION

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLERED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST., CINCINNATI, OH

Issue Date
4-MAY-2022

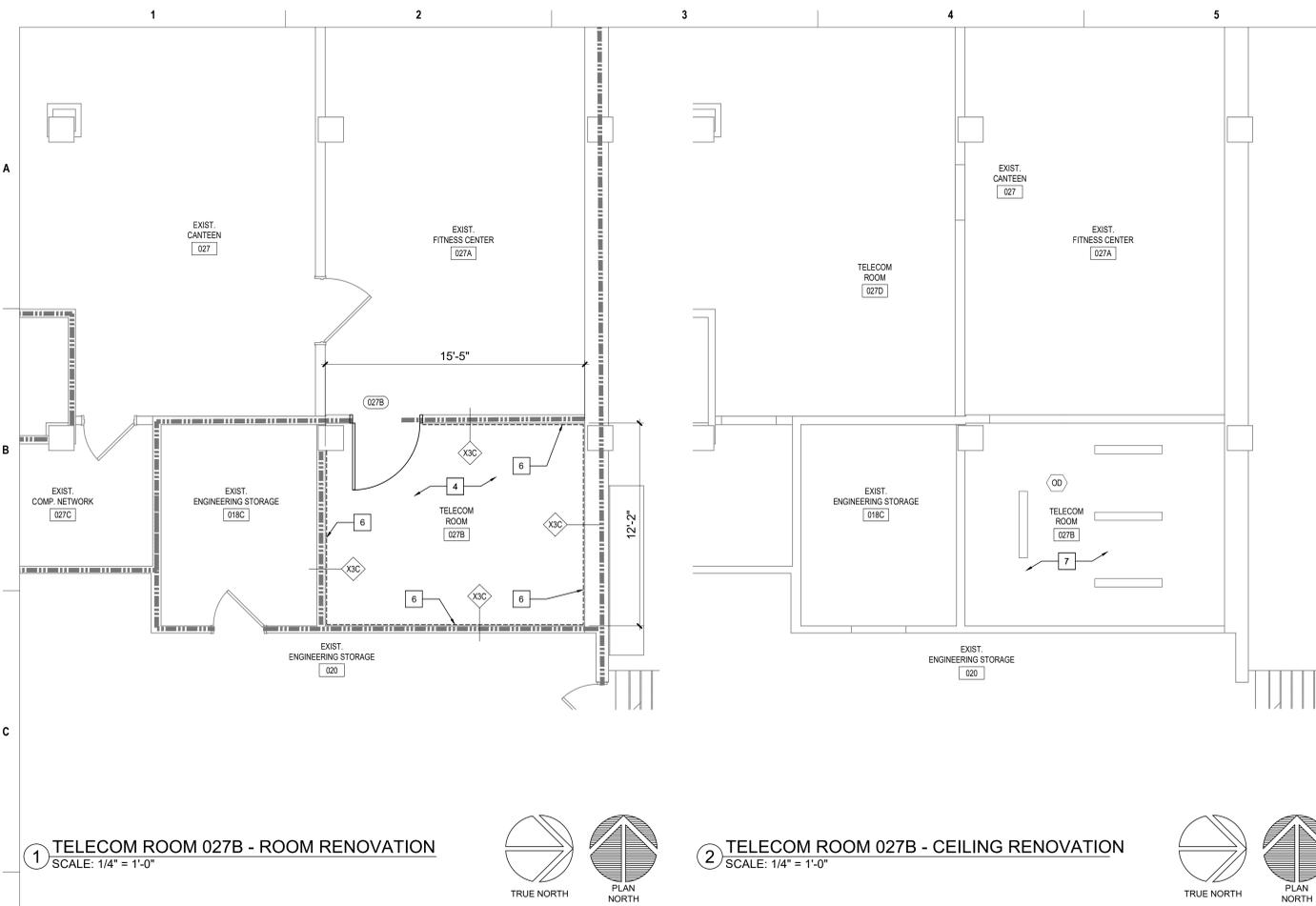
Checked

Drawn
IAR

Project Number
539-21-701

Building Number
C TE

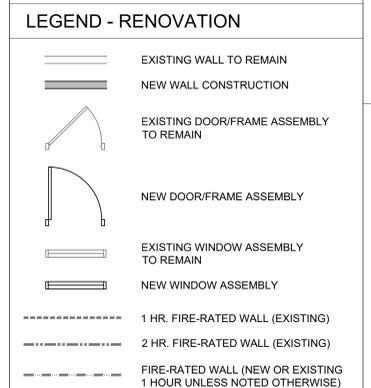
Drawing Number
AS-500-C.TE.1



- ### KEYED NOTES - RENOVATION
- EXISTING DOOR/FRAME ASSEMBLY TO REMAIN.
 - PROVIDE CARD READER.
 - PROVIDE ROOM SIGNAGE.
 - PROVIDE NEW FLOORING AND BASE AS SCHEDULED.
 - REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE IN THIS ROOM THAT MAY REQUIRE MINOR DEMOLITION, PATCHING AND REPAIR OF EXISTING FLOOR SUBSTRATE, WALL OR MISCELLANEOUS ASSEMBLIES.
 - PROVIDE 8"x4"x3/4" AC FACED FIRE-RATED PLYWOOD VERTICALLY ON ALL WALLS AS INDICATED. PAINT WITH 2 COATS MIN. FIRE-RATED PAINT. COORDINATE EXACT LOCATION A.F.F. WITH TECHNOLOGY AND ELECTRICAL DRAWINGS AND EXISTING CONDITIONS.
 - REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE OF EXISTING AND NEW COMPONENTS AT CEILING LEVEL.
 - EXISTING FLOOR AND BASE TO REMAIN. REPAIR AS NECESSARY TO MATCH EXISTING CONDITIONS OR BETTER.
 - EXISTING VCT FLOORING AND RUBBER BASE TO REMAIN.
 - LIMITED RENOVATION TO EXISTING CEILING ASSEMBLY PER MEP AND TECHNOLOGY DRAWINGS WORK SCOPE.
 - RELOCATED EXISTING MARKER BOARD.
 - RELOCATED EXISTING MILLWORK.
 - CEILING FUR-DOWN ABOVE.
 - NEW GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO MATCH EXISTING HEIGHT. NO JOINTS UNLESS NOTED OTHERWISE.
 - RELOCATED EXISTING LIGHT FIXTURE.
 - RELOCATED EXISTING TV MONITOR.
 - EXISTING ALUMINUM FLOOR AND WALL (EACH SIDE) EXPANSION JOINT COVERS TO REMAIN.
 - EXISTING GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO REMAIN.
 - RELOCATED EXISTING FIRE EXTINGUISHER.
 - EXISTING EXTERIOR WINDOW TO REMAIN.
 - REINSTALL EXISTING SALVAGED WOOD BASE AND CHAIR RAIL. PROVIDE BALANCE OF MATERIAL AS NEEDED TO COMPLETE JOB. PAINT ALL BASE AND CHAIR RAIL IN ENTIRE ROOM.
 - EXISTING PLASTER ON CMU TO UNDERSIDE OF EXISTING STRUCTURE (4" OR 8" CMU PER WALL THICKNESS DEPICTED GRAPHICALLY). FIRE-RATED WALL. CONTRACTOR VERIFY.
 - EXISTING ROOM SIGNAGE.
 - EXISTING CARD READER.
 - REFERENCE DOOR SCHEDULE.
 - PAINT INTERIOR SIDE OF EXISTING WINDOW GLAZING ONLY "FLAT BLACK".
 - REINSTALLED EXISTING ROOM SIGNAGE.
 - REINSTALLED EXISTING CARD READER.
 - PLASTER ASSEMBLY INFILL AT EXISTING WALL AS DETAILED AT EXISTING WINDOW OPENING.
 - ENSURE EXISTING WALL VENT IS SECURELY CLOSED SHUT PRIOR TO COVER-UP.
 - PROVIDE WALL PROTECTION TO MATCH EXISTING.
 - PROVIDE NEW CEILING AS SCHEDULED.
 - PROVIDE GYPSUM BOARD/STEEL STUD FRAMED FUR-DOWN AS DETAILED.
 - PROVIDE 2" X 2" RAISED FLOOR SYSTEM AT 10" ABOVE THE 4TH FLOOR LEVEL.
 - ELECTRICAL CONDUITS AND MECHANICAL PIPING PER MEP DRAWINGS.
 - PROVIDE 5/8" GYPSUM BOARD WHERE EXISTING TILE WAINSCOT AND SUBSTRATE WAS REMOVED. TEXTURE AND FINISH TO MATCH EXISTING ADJACENT WALLS (4'-0"± HIGH. LOCATE AS INDICATED BY HEAVY LINE).
 - TEXTURE AND FINISH EXISTING GYPSUM BOARD SUBSTRATE TO MATCH EXISTING ADJACENT WALLS.
 - GYPSUM BOARD ASSEMBLY INFILL AS DETAILED AT EXISTING WINDOW OPENING.
 - PROVIDE INFILL PER KEYED NOTE 29 AT VOID LEFT BY HEATER REMOVED.
 - PROVIDE 1" THICK MINIMUM CONCRETE INFILL FLUSH WITH EXISTING CONCRETE TOPPING WHERE PORTIONS OF EXISTING CMU WALLS ARE REMOVED.
 - PROVIDE PAINTED WOOD CHAIR RAIL TO MATCH EXISTING.
 - REINSTALLED EXISTING SHELF.
 - PROVIDE GYPSUM BOARD/METAL STUD FRAMED CHASE FROM FLOORS ABOVE. MINIMIZE SIZE AND REFERENCE MEP DRAWINGS FOR COMPONENTS TO BE IN CHASE.
 - RAMP AND RAILS BY RAISED FLOOR SYSTEM MANUFACTURER.
 - ROOM PERIMETER WALLS TO BE FULLY SEALED TOP AND BOTTOM ON BOTH SIDES OF WALL. EXTERIOR WALL SEAL INTERIOR SIDE ONLY.

- ### GENERAL NOTES - RENOVATION
- REFERENCE GENERAL NOTES ON SHEET GI-004.
 - UNLESS NOTED OTHERWISE, ALL EXISTING WALLS ARE 5/8" GYPSUM BOARD/3/8" METAL STUD FRAMED TO UNDERSIDE OF PRIMARY BUILDING FRAMING STRUCTURE (1 HR. FIRE RATED - CONSTRUCTION SIMILAR TO U.I. DESIGN NO. U465). CONTRACTOR TO VERIFY.
 - UNLESS NOTED OTHERWISE, ALL EXISTING DOOR ASSEMBLIES ARE SOLID CORE WOOD DOORS/HOLLOW METAL FRAME TYPICAL (3'-0" X 7'-0").
 - UNLESS NOTED OTHERWISE ALL EXISTING LAY-IN CEILING ASSEMBLIES ARE 2" X 2" STANDARD GRID WITH FISSURED TILES AT 8'-0" A.F.F. TYPICAL.
 - UNLESS NOTED OTHERWISE, ALL EXISTING STEEL COLUMN FUR-OUTS ARE GYPSUM BOARD/METAL STUD FRAMED TYPICAL.
 - PARTIAL OR ENTIRE RECONSTRUCTION OF SOME EXISTING CEILING ASSEMBLIES THROUGH OUT THE ENTIRE BUILDING(S), ESPECIALLY IN CORRIDORS, WILL BE NECESSARY. REFERENCE ALL DISCIPLINE DEMOLITION DRAWINGS. RECONSTRUCTION IS TO INCLUDE MISCELLANEOUS PATCHING /REPAIR TO MATCH EXISTING OR BETTER CONDITIONS.
 - EXISTING FIRE-RATED WALL IDENTIFICATION INDICATED ONLY FOR IMMEDIATE AFFECTED ROOM WALLS. CONTRACTOR SHALL VERIFY FULL EXTENT OF EXISTING FIRE-RATED WALLS AT ADJACENT AREAS.
 - ALL NEW WALLS SHALL BE PARTITION TYPE '1' UNLESS OTHERWISE NOTED.
 - UNLESS NOTED OTHERWISE AT ALL ROOMS WHERE EXISTING LAY-IN CEILING IS REMOVED AND IS TO BECOME A "NO CEILING" ROOM, THE EXISTING GYPSUM BOARD ABOVE, PREVIOUSLY REMOVED CEILING IS TO BE FULLY TAPED, FLOATED, TEXTURED AND PAINTED TO MATCH EXISTING WALLS.

- ### KEYED NOTES - RENOVATION (CONT.)
- TEMPORARY ALUMINUM RAMP BY CONTRACTOR TO BE RETURNED TO OWNER AT END OF JOB.
 - MODULAR BRICK INFILL ON EXTERIOR TO MATCH EXISTING. TOOTH-IN AND MATCH MORTAR.



Revisions:	Date:

CONSULTANT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com

PROJECT MANAGEMENT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com



Construction and Facilities Management

Drawing Title
ENLARGED FLOOR PLANS - BASEMENT FLOOR RENOVATION

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLERED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST., CINCINNATI, OH

Issue Date
4-MAY-2022

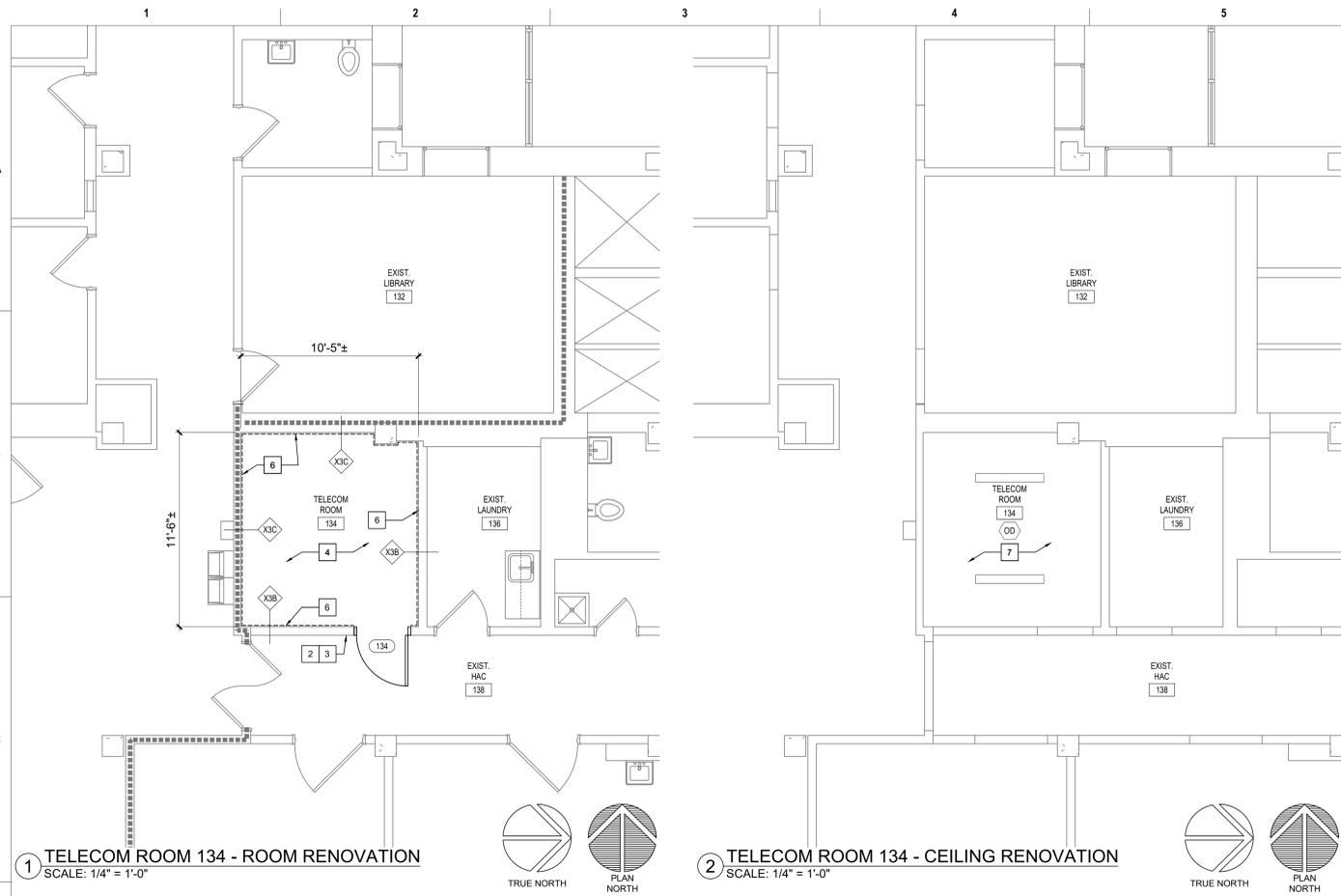
Checked

Drawn
IAR

Project Number
539-21-701

Building Number
FT64

Drawing Number
AS-510-FT.64.B



1 TELECOM ROOM 134 - ROOM RENOVATION
SCALE: 1/4" = 1'-0"

2 TELECOM ROOM 134 - CEILING RENOVATION
SCALE: 1/4" = 1'-0"

KEYED NOTES - RENOVATION

1. EXISTING DOOR/FRAME ASSEMBLY TO REMAIN.
2. PROVIDE CARD READER.
3. PROVIDE ROOM SIGNAGE.
4. PROVIDE NEW FLOORING AND BASE AS SCHEDULED.
5. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE IN THIS ROOM THAT MAY REQUIRE MINOR DEMOLITION, PATCHING AND REPAIR OF EXISTING FLOOR SUBSTRATE, WALL OR MISCELLANEOUS ASSEMBLIES.
6. PROVIDE 8"x4"x3/4" AC FACED FIRE-RATED PLYWOOD VERTICALLY ON ALL WALLS AS INDICATED. PAINT WITH 2 COATS MIN. FIRE-RATED PAINT. COORDINATE EXACT LOCATION A.F.F. WITH TECHNOLOGY AND ELECTRICAL DRAWINGS AND EXISTING CONDITIONS.
7. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE OF EXISTING AND NEW COMPONENTS AT CEILING LEVEL.
8. EXISTING FLOOR AND BASE TO REMAIN. REPAIR AS NECESSARY TO MATCH EXISTING CONDITIONS OR BETTER.
9. EXISTING VCT FLOORING AND RUBBER BASE TO REMAIN.
10. LIMITED RENOVATION TO EXISTING CEILING ASSEMBLY PER MEP AND TECHNOLOGY DRAWINGS WORK SCOPE.
11. RELOCATED EXISTING MARKER BOARD.
12. RELOCATED EXISTING MILLWORK.
13. CEILING FUR-DOWN ABOVE.
14. NEW GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO MATCH EXISTING HEIGHT. NO JOINTS UNLESS NOTED OTHERWISE.
15. RELOCATED EXISTING LIGHT FIXTURE.
16. RELOCATED EXISTING TV MONITOR.
17. EXISTING ALUMINUM FLOOR AND WALL (EACH SIDE) EXPANSION JOINT COVERS TO REMAIN.
18. EXISTING GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO REMAIN.
19. RELOCATED EXISTING FIRE EXTINGUISHER.
20. EXISTING EXTERIOR WINDOW TO REMAIN.
21. REINSTALL EXISTING SALVAGED WOOD BASE AND CHAIR RAIL. PROVIDE BALANCE OF MATERIAL AS NEEDED TO COMPLETE JOB. PAINT ALL BASE AND CHAIR RAIL IN ENTIRE ROOM.
22. EXISTING PLASTER ON CMU TO UNDERSIDE OF EXISTING STRUCTURE (4" OR 8" CMU PER WALL THICKNESS DEPICTED GRAPHICALLY). FIRE-RATED WALL. CONTRACTOR VERIFY.
23. EXISTING ROOM SIGNAGE.
24. EXISTING CARD READER.
25. REFERENCE DOOR SCHEDULE.
26. PAINT INTERIOR SIDE OF EXISTING WINDOW GLAZING ONLY "FLAT BLACK".
27. REINSTALLED EXISTING ROOM SIGNAGE.
28. REINSTALLED EXISTING CARD READER.
29. PLASTER ASSEMBLY INFILL AT EXISTING WALL AS DETAILED AT EXISTING WINDOW OPENING.
30. ENSURE EXISTING WALL VENT IS SECURELY CLOSED SHUT PRIOR TO COVER-UP.
31. PROVIDE WALL PROTECTION TO MATCH EXISTING.
32. PROVIDE NEW CEILING AS SCHEDULED.
33. PROVIDE GYPSUM BOARD/STEEL STUD FRAMED FUR-DOWN AS DETAILED.
34. PROVIDE 2' X 2' RAISED FLOOR SYSTEM AT 10" ABOVE THE 4TH FLOOR LEVEL.
35. ELECTRICAL CONDUITS AND MECHANICAL PIPING PER MEP DRAWINGS.
36. PROVIDE 5/8" GYPSUM BOARD WHERE EXISTING TILE WAINSCOT AND SUBSTRATE WAS REMOVED. TEXTURE AND FINISH TO MATCH EXISTING ADJACENT WALLS (4'-0"± HIGH. LOCATE AS INDICATED BY HEAVY LINE).
37. TEXTURE AND FINISH EXISTING GYPSUM BOARD SUBSTRATE TO MATCH EXISTING ADJACENT WALLS.
38. GYPSUM BOARD ASSEMBLY INFILL AS DETAILED AT EXISTING WINDOW OPENING.
39. PROVIDE INFILL PER KEYED NOTE 29 AT VOID LEFT BY HEATER REMOVED.
40. PROVIDE 1" THICK MINIMUM CONCRETE INFILL FLUSH WITH EXISTING CONCRETE TOPPING WHERE PORTIONS OF EXISTING CMU WALLS ARE REMOVED.
41. PROVIDE PAINTED WOOD CHAIR RAIL TO MATCH EXISTING.
42. REINSTALLED EXISTING SHELF.
43. PROVIDE GYPSUM BOARD/METAL STUD FRAMED CHASE FROM FLOORS ABOVE. MINIMIZE SIZE AND REFERENCE MEP DRAWINGS FOR COMPONENTS TO BE IN CHASE.
44. RAMP AND RAILS BY RAISED FLOOR SYSTEM MANUFACTURER.
45. ROOM PERIMETER WALLS TO BE FULLY SEALED TOP AND BOTTOM ON BOTH SIDES OF WALL. EXTERIOR WALL SEAL INTERIOR SIDE ONLY.

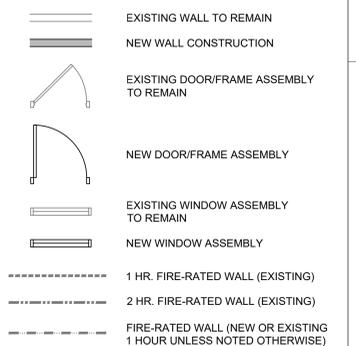
GENERAL NOTES - RENOVATION

1. REFERENCE GENERAL NOTES ON SHEET GI-004.
2. UNLESS NOTED OTHERWISE, ALL EXISTING WALLS ARE 5/8" GYPSUM BOARD/3 5/8" METAL STUD FRAMED TO UNDERSIDE OF PRIMARY BUILDING FRAMING STRUCTURE (1 HR. FIRE RATED - CONSTRUCTION SIMILAR TO U.I. DESIGN NO. U465). CONTRACTOR TO VERIFY.
3. UNLESS NOTED OTHERWISE, ALL EXISTING DOOR ASSEMBLIES ARE SOLID CORE WOOD DOORS/HOLLOW METAL FRAME TYPICAL (3'-0" X 7'-0").
4. UNLESS NOTED OTHERWISE ALL EXISTING LAY-IN CEILING ASSEMBLIES ARE 2' X 2' STANDARD GRID WITH FISSURED TILES AT 8'-0" A.F.F. TYPICAL.
5. UNLESS NOTED OTHERWISE, ALL EXISTING STEEL COLUMN FUR-OUTS ARE GYPSUM BOARD/METAL STUD FRAMED TYPICAL.
6. PARTIAL OR ENTIRE RECONSTRUCTION OF SOME EXISTING CEILING ASSEMBLIES THROUGHOUT THE ENTIRE BUILDING(S), ESPECIALLY IN CORRIDORS, WILL BE NECESSARY. REFERENCE ALL DISCIPLINE DEMOLITION DRAWINGS. RECONSTRUCTION IS TO INCLUDE MISCELLANEOUS PATCHING /REPAIR TO MATCH EXISTING OR BETTER CONDITIONS.
7. EXISTING FIRE-RATED WALL IDENTIFICATION INDICATED ONLY FOR IMMEDIATE AFFECTED ROOM WALLS. CONTRACTOR SHALL VERIFY FULL EXTENT OF EXISTING FIRE-RATED WALLS AT ADJACENT AREAS.
8. ALL NEW WALLS SHALL BE PARTITION TYPE '1' UNLESS OTHERWISE NOTED.
9. UNLESS NOTED OTHERWISE AT ALL ROOMS WHERE EXISTING LAY-IN CEILING IS REMOVED AND IS TO BECOME A "NO CEILING" ROOM, THE EXISTING GYPSUM BOARD ABOVE, PREVIOUSLY REMOVED CEILING IS TO BE FULLY TAPED, FLOATED, TEXTURED AND PAINTED TO MATCH EXISTING WALLS.

KEYED NOTES - RENOVATION (CONT.)

46. TEMPORARY ALUMINUM RAMP BY CONTRACTOR TO BE RETURNED TO OWNER AT END OF JOB.
47. MODULAR BRICK INFILL ON EXTERIOR TO MATCH EXISTING. TOOTH-IN AND MATCH MORTAR.

LEGEND - RENOVATION



Revisions:	Date:

CONSULTANT

8718 Botts Lane Phone: (210) 816-4784
San Antonio, Texas 78217 Fax: (210) 881-6808
www.hfscpany.com jbianco@hfscpany.com

PROJECT MANAGEMENT

8718 Botts Lane Phone: (210) 816-4784
San Antonio, Texas 78217 Fax: (210) 881-6808
www.hfscpany.com jbianco@hfscpany.com



Construction and Facilities Management

Drawing Title
ENLARGED FLOOR PLANS - 1ST FLOOR RENOVATION

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLERED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST., CINCINNATI, OH

Issue Date
4-MAY-2022

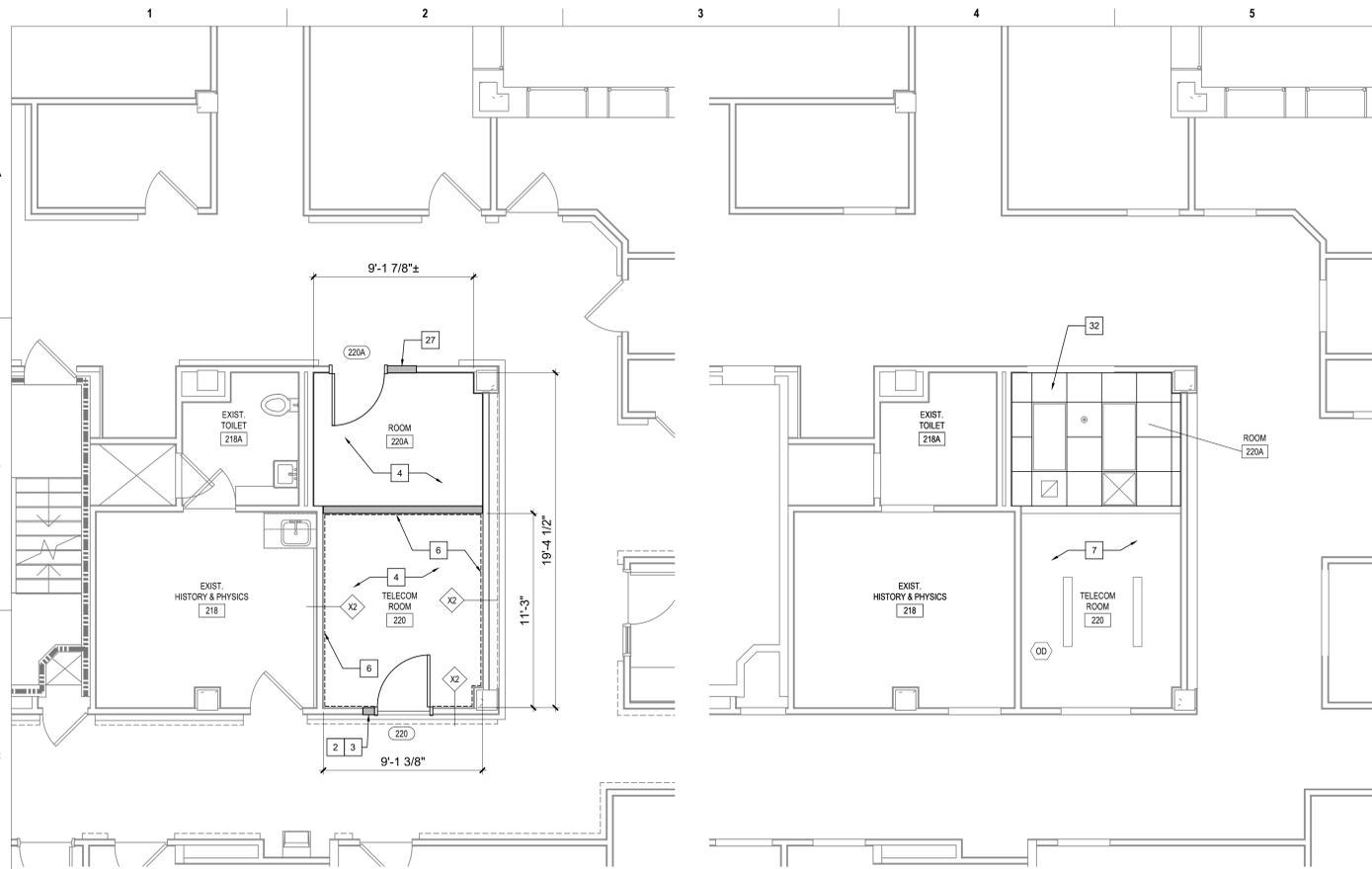
Checked

Drawn
IAR

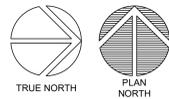
Project Number
539-21-701

Building Number
FT64

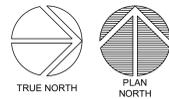
Drawing Number
AS-511-FT.64.1



1 TELECOM ROOM 220 - ROOM RENOVATION
SCALE: 1/4" = 1'-0"



2 TELECOM ROOM 220 - CEILING RENOVATION
SCALE: 1/4" = 1'-0"



KEYED NOTES - RENOVATION

1. EXISTING DOOR/FRAME ASSEMBLY TO REMAIN.
2. PROVIDE CARD READER.
3. PROVIDE ROOM SIGNAGE.
4. PROVIDE NEW FLOORING AND BASE AS SCHEDULED.
5. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE IN THIS ROOM THAT MAY REQUIRE MINOR DEMOLITION, PATCHING AND REPAIR OF EXISTING FLOOR SUBSTRATE, WALL OR MISCELLANEOUS ASSEMBLIES.
6. PROVIDE 8"x4"x3/4" AC FACED FIRE-RATED PLYWOOD VERTICALLY ON ALL WALLS AS INDICATED. PAINT WITH 2 COATS MIN. FIRE-RATED PAINT. COORDINATE EXACT LOCATION A.F.F. WITH TECHNOLOGY AND ELECTRICAL DRAWINGS AND EXISTING CONDITIONS.
7. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE OF EXISTING AND NEW COMPONENTS AT CEILING LEVEL.
8. EXISTING FLOOR AND BASE TO REMAIN. REPAIR AS NECESSARY TO MATCH EXISTING CONDITIONS OR BETTER.
9. EXISTING VCT FLOORING AND RUBBER BASE TO REMAIN.
10. EXISTING RENOVATION TO EXISTING CEILING ASSEMBLY PER MEP AND TECHNOLOGY DRAWINGS WORK SCOPE.
11. RELOCATED EXISTING MARKER BOARD.
12. RELOCATED EXISTING MILLWORK.
13. CEILING FUR-DOWN ABOVE.
14. NEW GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO MATCH EXISTING HEIGHT. NO JOINTS UNLESS NOTED OTHERWISE.
15. RELOCATED EXISTING LIGHT FIXTURE.
16. RELOCATED EXISTING TV MONITOR.
17. EXISTING ALUMINUM FLOOR AND WALL (EACH SIDE) EXPANSION JOINT COVERS TO REMAIN.
18. EXISTING GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO REMAIN.
19. RELOCATED EXISTING FIRE EXTINGUISHER.
20. EXISTING EXTERIOR WINDOW TO REMAIN.
21. REINSTALL EXISTING SALVAGED WOOD BASE AND CHAIR RAIL. PROVIDE BALANCE OF MATERIAL AS NEEDED TO COMPLETE JOB. PAINT ALL BASE AND CHAIR RAIL IN ENTIRE ROOM.
22. EXISTING PLASTER ON CMU TO UNDERSIDE OF EXISTING STRUCTURE (4" OR 8" CMU PER WALL THICKNESS DEPICTED GRAPHICALLY). FIRE-RATED WALL. CONTRACTOR VERIFY.
23. EXISTING ROOM SIGNAGE.
24. EXISTING CARD READER.
25. REFERENCE DOOR SCHEDULE.
26. PAINT INTERIOR SIDE OF EXISTING WINDOW GLAZING ONLY "FLAT BLACK".
27. REINSTALLED EXISTING ROOM SIGNAGE.
28. REINSTALLED EXISTING CARD READER.
29. PLASTER ASSEMBLY INFILL AT EXISTING WALL AS DETAILED AT EXISTING WINDOW OPENING.
30. ENSURE EXISTING WALL VENT IS SECURELY CLOSED SHUT PRIOR TO COVER-UP.
31. PROVIDE WALL PROTECTION TO MATCH EXISTING.
32. PROVIDE NEW CEILING AS SCHEDULED.
33. PROVIDE GYPSUM BOARD/STEEL STUD FRAMED FUR-DOWN AS DETAILED.
34. PROVIDE 2" X 2" RAISED FLOOR SYSTEM AT 10" ABOVE THE 4TH FLOOR LEVEL.
35. ELECTRICAL CONDUITS AND MECHANICAL PIPING PER MEP DRAWINGS.
36. PROVIDE 5/8" GYPSUM BOARD WHERE EXISTING TILE WAINSCOT AND SUBSTRATE WAS REMOVED. TEXTURE AND FINISH TO MATCH EXISTING ADJACENT WALLS (4'-0"± HIGH. LOCATE AS INDICATED BY HEAVY LINE).
37. TEXTURE AND FINISH EXISTING GYPSUM BOARD SUBSTRATE TO MATCH EXISTING ADJACENT WALLS.
38. GYPSUM BOARD ASSEMBLY INFILL AS DETAILED AT EXISTING WINDOW OPENING.
39. PROVIDE INFILL PER KEYED NOTE 29 AT VOID LEFT BY HEATER REMOVED.
40. PROVIDE 1" THICK MINIMUM CONCRETE INFILL FLUSH WITH EXISTING CONCRETE TOPPING WHERE PORTIONS OF EXISTING CMU WALLS ARE REMOVED.
41. PROVIDE PAINTED WOOD CHAIR RAIL TO MATCH EXISTING.
42. REINSTALLED EXISTING SHELF.
43. PROVIDE GYPSUM BOARD/METAL STUD FRAMED CHASE FROM FLOORS ABOVE. MINIMIZE SIZE AND REFERENCE MEP DRAWINGS FOR COMPONENTS TO BE IN CHASE.
44. RAMP AND RAILS BY RAISED FLOOR SYSTEM MANUFACTURER.
45. ROOM PERIMETER WALLS TO BE FULLY SEALED TOP AND BOTTOM ON BOTH SIDES OF WALL. EXTERIOR WALL SEAL INTERIOR SIDE ONLY.

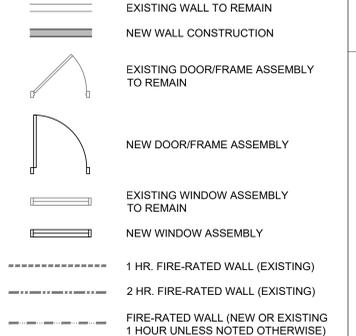
GENERAL NOTES - RENOVATION

1. REFERENCE GENERAL NOTES ON SHEET GI-004.
2. UNLESS NOTED OTHERWISE, ALL EXISTING WALLS ARE 5/8" GYPSUM BOARD/3 5/8" METAL STUD FRAMED TO UNDERSIDE OF PRIMARY BUILDING FRAMING STRUCTURE (1 HR. FIRE RATED - CONSTRUCTION SIMILAR TO U.I. DESIGN NO. U465). CONTRACTOR TO VERIFY.
3. UNLESS NOTED OTHERWISE, ALL EXISTING DOOR ASSEMBLIES ARE SOLID CORE WOOD DOORS/HOLLOW METAL FRAME TYPICAL (3'-0" X 7'-0").
4. UNLESS NOTED OTHERWISE ALL EXISTING LAY-IN CEILING ASSEMBLIES ARE 2' X 2' STANDARD GRID WITH FISSURED TILES AT 8'-0" A.F.F. TYPICAL.
5. UNLESS NOTED OTHERWISE, ALL EXISTING STEEL COLUMN FUR-OUTS ARE GYPSUM BOARD/METAL STUD FRAMED TYPICAL.
6. PARTIAL OR ENTIRE RECONSTRUCTION OF SOME EXISTING CEILING ASSEMBLIES THROUGH OUT THE ENTIRE BUILDING(S), ESPECIALLY IN CORRIDORS, WILL BE NECESSARY. REFERENCE ALL DISCIPLINE DEMOLITION DRAWINGS. RECONSTRUCTION IS TO INCLUDE MISCELLANEOUS PATCHING /REPAIR TO MATCH EXISTING OR BETTER CONDITIONS.
7. EXISTING FIRE-RATED WALL IDENTIFICATION INDICATED ONLY FOR IMMEDIATE AFFECTED ROOM WALLS. CONTRACTOR SHALL VERIFY FULL EXTENT OF EXISTING FIRE-RATED WALLS AT ADJACENT AREAS.
8. ALL NEW WALLS SHALL BE PARTITION TYPE '1' UNLESS OTHERWISE NOTED.
9. UNLESS NOTED OTHERWISE AT ALL ROOMS WHERE EXISTING LAY-IN CEILING IS REMOVED AND IS TO BECOME A "NO CEILING" ROOM, THE EXISTING GYPSUM BOARD ABOVE, PREVIOUSLY REMOVED CEILING IS TO BE FULLY TAPED, FLOATED, TEXTURED AND PAINTED TO MATCH EXISTING WALLS.

KEYED NOTES - RENOVATION (CONT.)

46. TEMPORARY ALUMINUM RAMP BY CONTRACTOR TO BE RETURNED TO OWNER AT END OF JOB.
47. MODULAR BRICK INFILL ON EXTERIOR TO MATCH EXISTING. TOOTH-IN AND MATCH MORTAR.

LEGEND - RENOVATION



Revisions:	Date:

CONSULTANT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com

PROJECT MANAGEMENT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com



Construction and Facilities Management

Drawing Title
ENLARGED FLOOR PLANS - 2ND FLOOR RENOVATION

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLERED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST., CINCINNATI, OH

Issue Date
4-MAY-2022

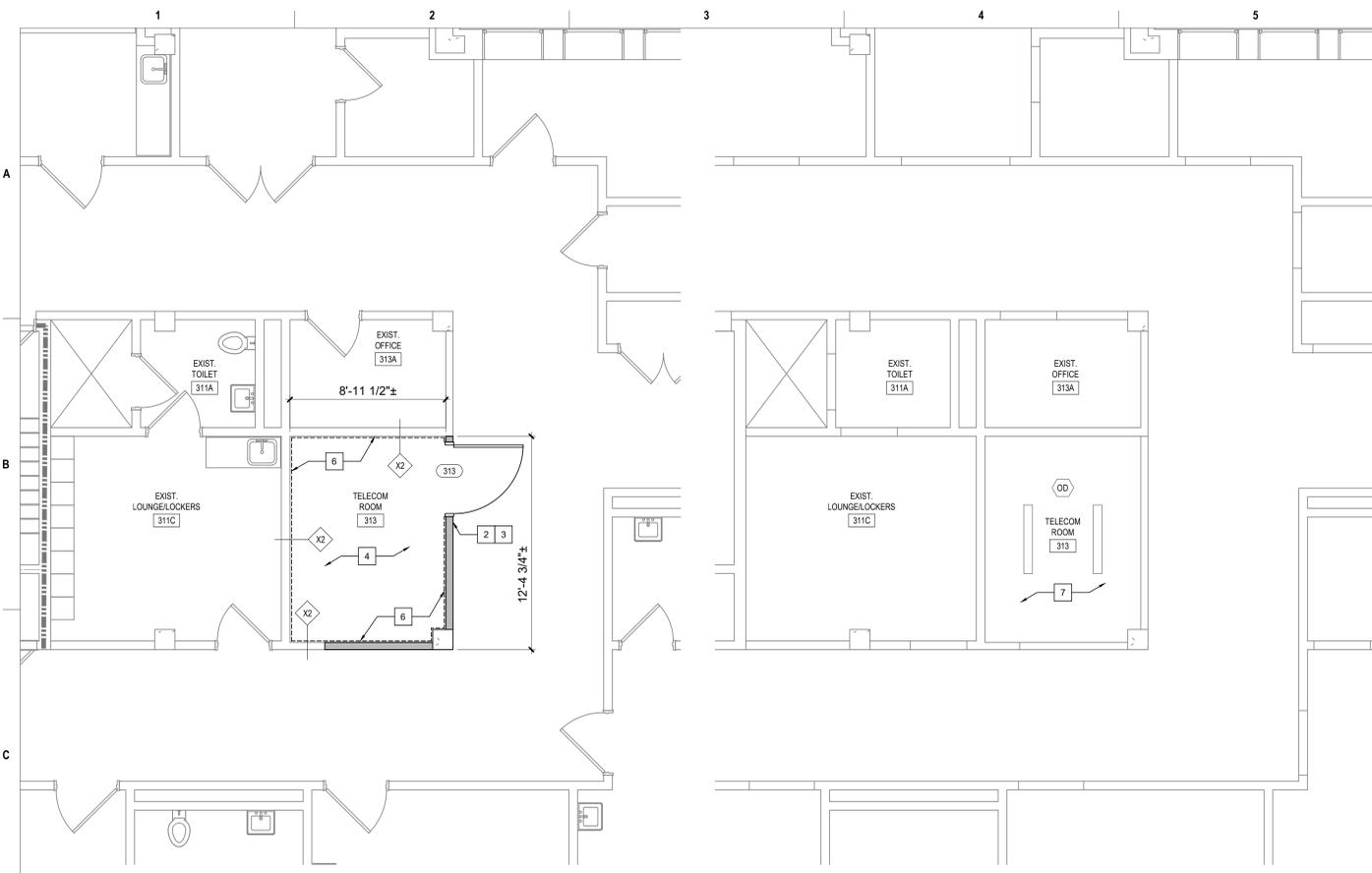
Checked

Drawn
IAR

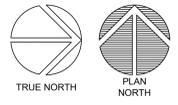
Project Number
539-21-701

Building Number
FT64

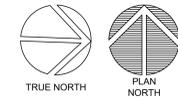
Drawing Number
AS-512-FT.64.2



1 TELECOM ROOM 313 - ROOM RENOVATION
SCALE: 1/4" = 1'-0"



2 TELECOM ROOM 313 - CEILING RENOVATION
SCALE: 1/4" = 1'-0"



KEYED NOTES - RENOVATION

1. EXISTING DOOR/FRAME ASSEMBLY TO REMAIN.
2. PROVIDE CARD READER.
3. PROVIDE ROOM SIGNAGE.
4. PROVIDE NEW FLOORING AND BASE AS SCHEDULED.
5. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE IN THIS ROOM THAT MAY REQUIRE MINOR DEMOLITION, PATCHING AND REPAIR OF EXISTING FLOOR SUBSTRATE, WALL OR MISCELLANEOUS ASSEMBLIES.
6. PROVIDE 8"x4"x3/4" AC FACED FIRE-RATED PLYWOOD VERTICALLY ON ALL WALLS AS INDICATED. PAINT WITH 2 COATS MIN. FIRE-RATED PAINT. COORDINATE EXACT LOCATION A.F.F. WITH TECHNOLOGY AND ELECTRICAL DRAWINGS AND EXISTING CONDITIONS.
7. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE OF EXISTING AND NEW COMPONENTS AT CEILING LEVEL.
8. EXISTING FLOOR AND BASE TO REMAIN. REPAIR AS NECESSARY TO MATCH EXISTING CONDITIONS OR BETTER.
9. EXISTING VCT FLOORING AND RUBBER BASE TO REMAIN.
10. LIMITED RENOVATION TO EXISTING CEILING ASSEMBLY PER MEP AND TECHNOLOGY DRAWINGS WORK SCOPE.
11. RELOCATED EXISTING MARKER BOARD.
12. RELOCATED EXISTING MILLWORK.
13. CEILING FUR-DOWN ABOVE.
14. NEW GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO MATCH EXISTING HEIGHT. NO JOINTS UNLESS NOTED OTHERWISE.
15. RELOCATED EXISTING LIGHT FIXTURE.
16. RELOCATED EXISTING TV MONITOR.
17. EXISTING ALUMINUM FLOOR AND WALL (EACH SIDE) EXPANSION JOINT COVERS TO REMAIN.
18. EXISTING GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO REMAIN.
19. RELOCATED EXISTING FIRE EXTINGUISHER.
20. EXISTING EXTERIOR WINDOW TO REMAIN.
21. REINSTALL EXISTING SALVAGED WOOD BASE AND CHAIR RAIL. PROVIDE BALANCE OF MATERIAL AS NEEDED TO COMPLETE JOB. PAINT ALL BASE AND CHAIR RAIL IN ENTIRE ROOM.
22. EXISTING PLASTER ON CMU TO UNDERSIDE OF EXISTING STRUCTURE (4" OR 8" CMU PER WALL THICKNESS DEPICTED GRAPHICALLY). FIRE-RATED WALL. CONTRACTOR VERIFY.
23. EXISTING ROOM SIGNAGE.
24. EXISTING CARD READER.
25. REFERENCE DOOR SCHEDULE.
26. PAINT INTERIOR SIDE OF EXISTING WINDOW GLAZING ONLY "FLAT BLACK".
27. REINSTALLED EXISTING ROOM SIGNAGE.
28. REINSTALLED EXISTING CARD READER.
29. PLASTER ASSEMBLY INFILL AT EXISTING WALL AS DETAILED AT EXISTING WINDOW OPENING.
30. ENSURE EXISTING WALL VENT IS SECURELY CLOSED SHUT PRIOR TO COVER-UP.
31. PROVIDE WALL PROTECTION TO MATCH EXISTING.
32. PROVIDE NEW CEILING AS SCHEDULED.
33. PROVIDE GYPSUM BOARD/STEEL STUD FRAMED FUR-DOWN AS DETAILED.
34. PROVIDE 2' X 2' RAISED FLOOR SYSTEM AT 10" ABOVE THE 4TH FLOOR LEVEL.
35. ELECTRICAL CONDUITS AND MECHANICAL PIPING PER MEP DRAWINGS.
36. PROVIDE 5/8" GYPSUM BOARD WHERE EXISTING TILE WAINSCOT AND SUBSTRATE WAS REMOVED. TEXTURE AND FINISH TO MATCH EXISTING ADJACENT WALLS (4'-0"± HIGH. LOCATE AS INDICATED BY HEAVY LINE).
37. TEXTURE AND FINISH EXISTING GYPSUM BOARD SUBSTRATE TO MATCH EXISTING ADJACENT WALLS.
38. GYPSUM BOARD ASSEMBLY INFILL AS DETAILED AT EXISTING WINDOW OPENING.
39. PROVIDE INFILL PER KEYED NOTE 29 AT VOID LEFT BY HEATER REMOVED.
40. PROVIDE 1" THICK MINIMUM CONCRETE INFILL FLUSH WITH EXISTING CONCRETE TOPPING WHERE PORTIONS OF EXISTING CMU WALLS ARE REMOVED.
41. PROVIDE PAINTED WOOD CHAIR RAIL TO MATCH EXISTING.
42. REINSTALLED EXISTING SHELF.
43. PROVIDE GYPSUM BOARD/METAL STUD FRAMED CHASE FROM FLOORS ABOVE. MINIMIZE SIZE AND REFERENCE MEP DRAWINGS FOR COMPONENTS TO BE IN CHASE.
44. RAMP AND RAILS BY RAISED FLOOR SYSTEM MANUFACTURER.
45. ROOM PERIMETER WALLS TO BE FULLY SEALED TOP AND BOTTOM ON BOTH SIDES OF WALL. EXTERIOR WALL SEAL INTERIOR SIDE ONLY.

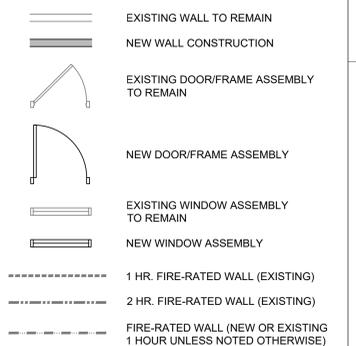
GENERAL NOTES - RENOVATION

1. REFERENCE GENERAL NOTES ON SHEET GI-004.
2. UNLESS NOTED OTHERWISE, ALL EXISTING WALLS ARE 5/8" GYPSUM BOARD/3 5/8" METAL STUD FRAMED TO UNDERSIDE OF PRIMARY BUILDING FRAMING STRUCTURE (1 HR. FIRE RATED - CONSTRUCTION SIMILAR TO U.I. DESIGN NO. U465). CONTRACTOR TO VERIFY.
3. UNLESS NOTED OTHERWISE, ALL EXISTING DOOR ASSEMBLIES ARE SOLID CORE WOOD DOORS/HOLLOW METAL FRAME TYPICAL (3'-0" X 7'-0").
4. UNLESS NOTED OTHERWISE ALL EXISTING LAY-IN CEILING ASSEMBLIES ARE 2' X 2' STANDARD GRID WITH FISSURED TILES AT 8'-0" A.F.F. TYPICAL.
5. UNLESS NOTED OTHERWISE, ALL EXISTING STEEL COLUMN FUR-OUTS ARE GYPSUM BOARD/METAL STUD FRAMED TYPICAL.
6. PARTIAL OR ENTIRE RECONSTRUCTION OF SOME EXISTING CEILING ASSEMBLIES THROUGHOUT THE ENTIRE BUILDING(S), ESPECIALLY IN CORRIDORS, WILL BE NECESSARY. REFERENCE ALL DISCIPLINE DEMOLITION DRAWINGS. RECONSTRUCTION IS TO INCLUDE MISCELLANEOUS PATCHING /REPAIR TO MATCH EXISTING OR BETTER CONDITIONS.
7. EXISTING FIRE-RATED WALL IDENTIFICATION INDICATED ONLY FOR IMMEDIATE AFFECTED ROOM WALLS. CONTRACTOR SHALL VERIFY FULL EXTENT OF EXISTING FIRE-RATED WALLS AT ADJACENT AREAS.
8. ALL NEW WALLS SHALL BE PARTITION TYPE '1' UNLESS OTHERWISE NOTED.
9. UNLESS NOTED OTHERWISE AT ALL ROOMS WHERE EXISTING LAY-IN CEILING IS REMOVED AND IS TO BECOME A "NO CEILING" ROOM, THE EXISTING GYPSUM BOARD ABOVE, PREVIOUSLY REMOVED CEILING IS TO BE FULLY TAPED, FLOATED, TEXTURED AND PAINTED TO MATCH EXISTING WALLS.

KEYED NOTES - RENOVATION (CONT.)

46. TEMPORARY ALUMINUM RAMP BY CONTRACTOR TO BE RETURNED TO OWNER AT END OF JOB.
47. MODULAR BRICK INFILL ON EXTERIOR TO MATCH EXISTING. TOOTH-IN AND MATCH MORTAR.

LEGEND - RENOVATION



Revisions:	Date:

CONSULTANT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com

PROJECT MANAGEMENT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com



Construction and Facilities Management

Drawing Title
ENLARGED FLOOR PLANS - 3RD FLOOR RENOVATION

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLERED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST., CINCINNATI, OH

Issue Date
4-MAY-2022

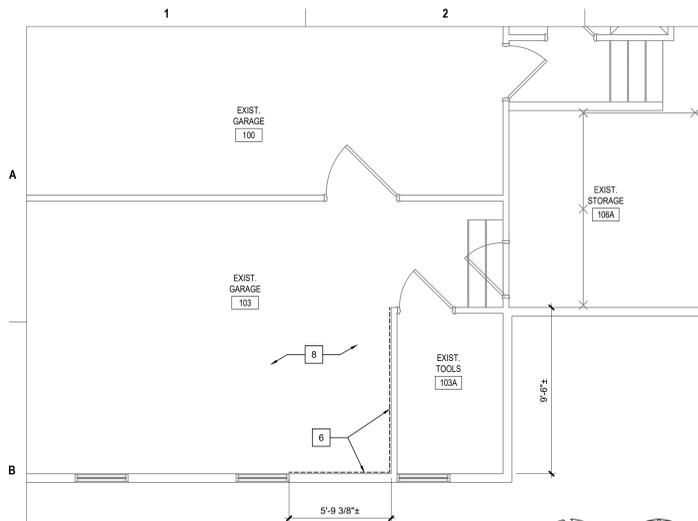
Checked

Drawn
IAR

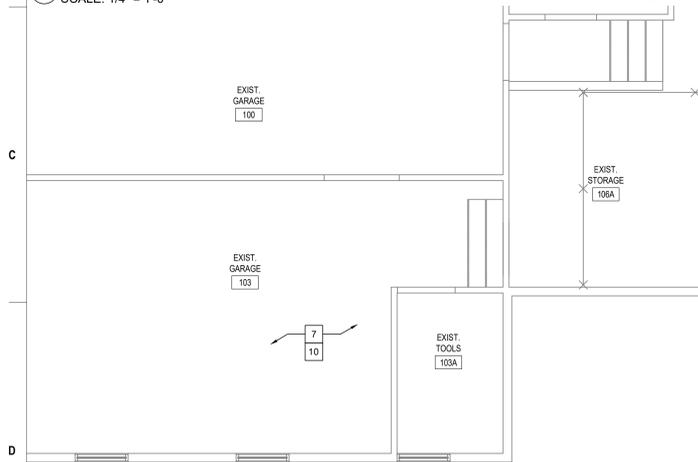
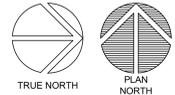
Project Number
539-21-701

Building Number
FT64

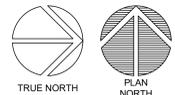
Drawing Number
AS-513-FT.64.3



1 EXISTING GARAGE 103 - ROOM RENOVATION
SCALE: 1/4" = 1'-0"



2 EXISTING GARAGE 103 - CEILING RENOVATION
SCALE: 1/4" = 1'-0"



KEYED NOTES - RENOVATION

1. EXISTING DOOR/FRAME ASSEMBLY TO REMAIN.
2. PROVIDE CARD READER.
3. PROVIDE ROOM SIGNAGE.
4. PROVIDE NEW FLOORING AND BASE AS SCHEDULED.
5. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE IN THIS ROOM THAT MAY REQUIRE MINOR DEMOLITION, PATCHING AND REPAIR OF EXISTING FLOOR SUBSTRATE, WALL OR MISCELLANEOUS ASSEMBLIES.
6. PROVIDE 8"x4"x3/4" AC FACED FIRE-RATED PLYWOOD VERTICALLY ON ALL WALLS AS INDICATED. PAINT WITH 2 COATS MIN. FIRE-RATED PAINT. COORDINATE EXACT LOCATION A.F.F. WITH TECHNOLOGY AND ELECTRICAL DRAWINGS AND EXISTING CONDITIONS.
7. REFERENCE MEP AND TECHNOLOGY DRAWINGS FOR WORK SCOPE OF EXISTING AND NEW COMPONENTS AT CEILING LEVEL.
8. EXISTING FLOOR AND BASE TO REMAIN. REPAIR AS NECESSARY TO MATCH EXISTING CONDITIONS OR BETTER.
9. EXISTING VCT FLOORING AND RUBBER BASE TO REMAIN.
10. LIMITED RENOVATION TO EXISTING CEILING ASSEMBLY PER MEP AND TECHNOLOGY DRAWINGS WORK SCOPE.
11. RELOCATED EXISTING MARKER BOARD.
12. RELOCATED EXISTING MILLWORK.
13. CEILING FUR-DOWN ABOVE.
14. NEW GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO MATCH EXISTING HEIGHT. NO JOINTS UNLESS NOTED OTHERWISE.
15. RELOCATED EXISTING LIGHT FIXTURE.
16. RELOCATED EXISTING TV MONITOR.
17. EXISTING ALUMINUM FLOOR AND WALL (EACH SIDE) EXPANSION JOINT COVERS TO REMAIN.
18. EXISTING GYPSUM BOARD/METAL STUD FRAMED FUR-DOWN TO REMAIN.
19. RELOCATED EXISTING FIRE EXTINGUISHER.
20. EXISTING EXTERIOR WINDOW TO REMAIN.
21. REINSTALL EXISTING SALVAGED WOOD BASE AND CHAIR RAIL. PROVIDE BALANCE OF MATERIAL AS NEEDED TO COMPLETE JOB. PAINT ALL BASE AND CHAIR RAIL IN ENTIRE ROOM.
22. EXISTING PLASTER ON CMU TO UNDERSIDE OF EXISTING STRUCTURE (4" OR 8" CMU PER WALL THICKNESS DEPICTED GRAPHICALLY). FIRE-RATED WALL. CONTRACTOR VERIFY.
23. EXISTING ROOM SIGNAGE.
24. EXISTING CARD READER.
25. REFERENCE DOOR SCHEDULE.
26. PAINT INTERIOR SIDE OF EXISTING WINDOW GLAZING ONLY "FLAT BLACK".
27. REINSTALLED EXISTING ROOM SIGNAGE.
28. REINSTALLED EXISTING CARD READER.
29. PLASTER ASSEMBLY INFILL AT EXISTING WALL AS DETAILED AT EXISTING WINDOW OPENING.
30. ENSURE EXISTING WALL VENT IS SECURELY CLOSED SHUT PRIOR TO COVER-UP.
31. PROVIDE WALL PROTECTION TO MATCH EXISTING.
32. PROVIDE NEW CEILING AS SCHEDULED.
33. PROVIDE GYPSUM BOARD/STEEL STUD FRAMED FUR-DOWN AS DETAILED.
34. PROVIDE 2' X 2' RAISED FLOOR SYSTEM AT 10" ABOVE THE 4TH FLOOR LEVEL.
35. ELECTRICAL CONDUITS AND MECHANICAL PIPING PER MEP DRAWINGS.
36. PROVIDE 5/8" GYPSUM BOARD WHERE EXISTING TILE WAINSCOT AND SUBSTRATE WAS REMOVED. TEXTURE AND FINISH TO MATCH EXISTING ADJACENT WALLS (4'-0"± HIGH. LOCATE AS INDICATED BY HEAVY LINE).
37. TEXTURE AND FINISH EXISTING GYPSUM BOARD SUBSTRATE TO MATCH EXISTING ADJACENT WALLS.
38. GYPSUM BOARD ASSEMBLY INFILL AS DETAILED AT EXISTING WINDOW OPENING.
39. PROVIDE INFILL PER KEYED NOTE 29 AT VOID LEFT BY HEATER REMOVED.
40. PROVIDE 1" THICK MINIMUM CONCRETE INFILL FLUSH WITH EXISTING CONCRETE TOPPING WHERE PORTIONS OF EXISTING CMU WALLS ARE REMOVED.
41. PROVIDE PAINTED WOOD CHAIR RAIL TO MATCH EXISTING.
42. REINSTALLED EXISTING SHELF.
43. PROVIDE GYPSUM BOARD/METAL STUD FRAMED CHASE FROM FLOORS ABOVE. MINIMIZE SIZE AND REFERENCE MEP DRAWINGS FOR COMPONENTS TO BE IN CHASE.
44. RAMP AND RAILS BY RAISED FLOOR SYSTEM MANUFACTURER.
45. ROOM PERIMETER WALLS TO BE FULLY SEALED TOP AND BOTTOM ON BOTH SIDES OF WALL. EXTERIOR WALL SEAL INTERIOR SIDE ONLY.

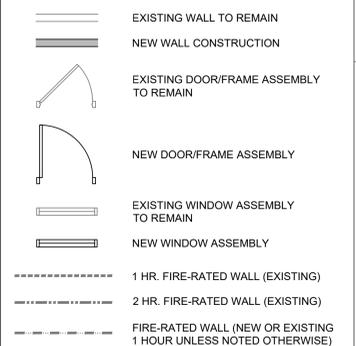
GENERAL NOTES - RENOVATION

1. REFERENCE GENERAL NOTES ON SHEET GI-004.
2. UNLESS NOTED OTHERWISE, ALL EXISTING WALLS ARE 5/8" GYPSUM BOARD/3 5/8" METAL STUD FRAMED TO UNDERSIDE OF PRIMARY BUILDING FRAMING STRUCTURE (1 HR. FIRE RATED - CONSTRUCTION SIMILAR TO U.I. DESIGN NO. U465). CONTRACTOR TO VERIFY.
3. UNLESS NOTED OTHERWISE, ALL EXISTING DOOR ASSEMBLIES ARE SOLID CORE WOOD DOORS/HOLLOW METAL FRAME TYPICAL (3'-0" X 7'-0").
4. UNLESS NOTED OTHERWISE ALL EXISTING LAY-IN CEILING ASSEMBLIES ARE 2' X 2' STANDARD GRID WITH FISSURED TILES AT 8'-0" A.F.F. TYPICAL.
5. UNLESS NOTED OTHERWISE, ALL EXISTING STEEL COLUMN FUR-OUTS ARE GYPSUM BOARD/METAL STUD FRAMED TYPICAL.
6. PARTIAL OR ENTIRE RECONSTRUCTION OF SOME EXISTING CEILING ASSEMBLIES THROUGH OUT THE ENTIRE BUILDING(S), ESPECIALLY IN CORRIDORS, WILL BE NECESSARY. REFERENCE ALL DISCIPLINE DEMOLITION DRAWINGS. RECONSTRUCTION IS TO INCLUDE MISCELLANEOUS PATCHING /REPAIR TO MATCH EXISTING OR BETTER CONDITIONS.
7. EXISTING FIRE-RATED WALL IDENTIFICATION INDICATED ONLY FOR IMMEDIATE AFFECTED ROOM WALLS. CONTRACTOR SHALL VERIFY FULL EXTENT OF EXISTING FIRE-RATED WALLS AT ADJACENT AREAS.
8. ALL NEW WALLS SHALL BE PARTITION TYPE '1' UNLESS OTHERWISE NOTED.
9. UNLESS NOTED OTHERWISE AT ALL ROOMS WHERE EXISTING LAY-IN CEILING IS REMOVED AND IS TO BECOME A "NO CEILING" ROOM, THE EXISTING GYPSUM BOARD ABOVE, PREVIOUSLY REMOVED CEILING IS TO BE FULLY TAPED, FLOATED, TEXTURED AND PAINTED TO MATCH EXISTING WALLS.

KEYED NOTES - RENOVATION (CONT.)

46. TEMPORARY ALUMINUM RAMP BY CONTRACTOR TO BE RETURNED TO OWNER AT END OF JOB.
47. MODULAR BRICK INFILL ON EXTERIOR TO MATCH EXISTING. TOOTH-IN AND MATCH MORTAR.

LEGEND - RENOVATION



Revisions:	Date:

CONSULTANT

8718 Botts Lane Phone: (210) 816-4784
San Antonio, Texas 78217 Fax: (210) 881-6808
www.hfscompany.com jbianco@hfscompany.com

PROJECT MANAGEMENT

8718 Botts Lane Phone: (210) 816-4784
San Antonio, Texas 78217 Fax: (210) 881-6808
www.hfscompany.com jbianco@hfscompany.com



Construction and Facilities Management

Drawing Title
ENLARGED FLOOR PLANS - 1ST FLOOR RENOVATION

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLERED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST., CINCINNATI, OH

Issue Date
4-MAY-2022

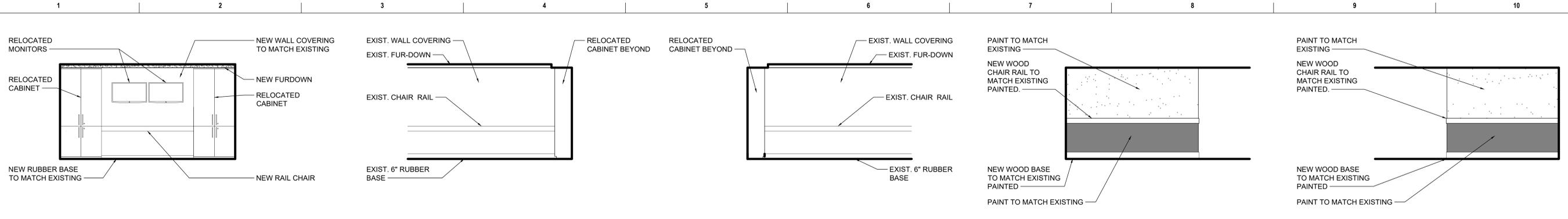
Checked

Drawn
IAR

Project Number
539-21-701

Building Number
FT117

Drawing Number
AS-520-FT.117.1



1 BLDG. 1 (CIN.) EXIST. CONFERENCE ROOM C236 - EAST NEW SCALE: 1/4" = 1'-0"
 2 BLDG. 1 (CIN.) EXIST. CONFERENCE RM C236 - NORTH REVISED (PARTIAL) SCALE: 1/4" = 1'-0"
 3 BLDG. 1 (CIN.) EXIST. CONFERENCE RM C236 - SOUTH REVISED (PARTIAL) SCALE: 1/4" = 1'-0"
 4 BLDG. 2 (CIN.) EXISTING LOUNGE 1040 - SOUTH NEW (PARTIAL) SCALE: 1/4" = 1'-0"
 5 BLDG. 2 (CIN.) EXISTING LOUNGE 1040 - EAST NEW (PARTIAL) SCALE: 1/4" = 1'-0"



6 C-BLDG.1 EX. CONFERENCE ROOM C236 - E SCALE: NTS



7 C-BLDG.2 EX. LOUNGE 1040 - SW CORNER SCALE: NTS



8 C-BLDG.TB EXISTING CORRIDOR 2 -EAST SCALE: NTS



9 C-BLDG.TE EX. CONFERENCE 105 - WEST SCALE: NTS



10 FT-BLDG.64 EX. NURSE STATION 313 - WALL SCALE: NTS



11 C-BLDG.1 EX. CORRIDOR C*6*1- WALL SCALE: NTS



12 C-BLD.1 EX. CORRIDOR C*5*1- WALL SCALE: NTS



13 C-BLDG.1 EX. EXTERIOR WINDOW SILL (U.N.O) SCALE: NTS



14 C-BLDG.1 EX. EXTERIOR WINDOW HEAD (U.N.O) SCALE: 1/4" = 1'-0"



15 C-BLDG.1 EX. CORRIDOR C*8*1 - WALL SCALE: NTS



16 C-BLDG.1 EX. SERVICE LOBBY A916 - NW SCALE: NTS



17 C-BLDG.1 EX. OCCUPATIONAL THERAPY A732 SCALE: NTS



18 C-BLDG.1 EX. TOILET A702A - WEST SCALE: NTS



19 C-BLDG.1 EX. TOILET A702A - SHOWER SCALE: NTS



20 C-BLDG.1 EX. SENSORY THERAPY RM A704 SCALE: NTS

Revisions:	Date:

CONSULTANT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com

PROJECT MANAGEMENT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com



Construction and Facilities Management

Drawing Title
INTERIOR ELEVATIONS & EXISTING ROOM PHOTOS

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLERED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST., CINCINNATI, OH

Issue Date
4-MAY-2022

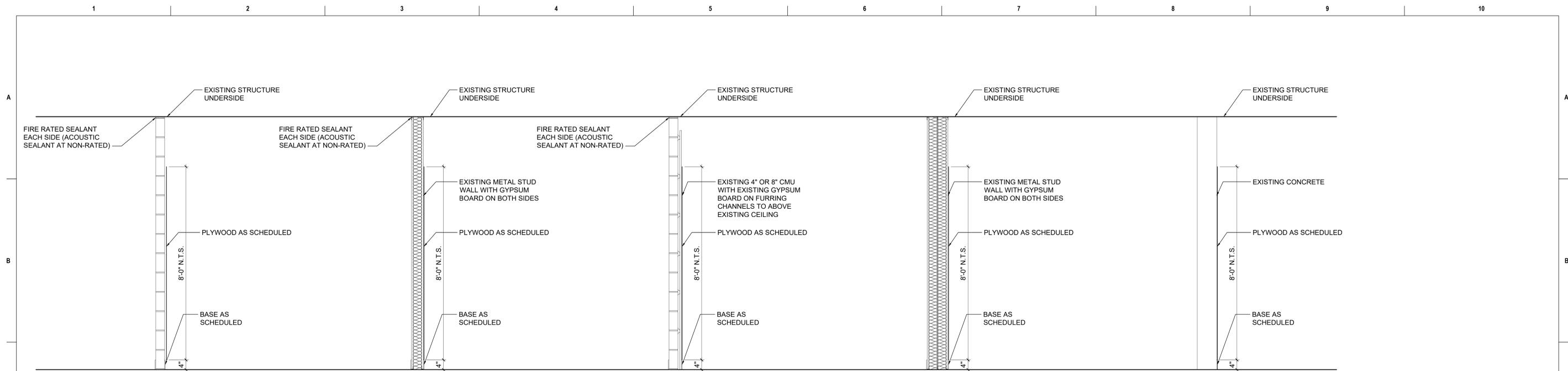
Checked

Drawn
VV

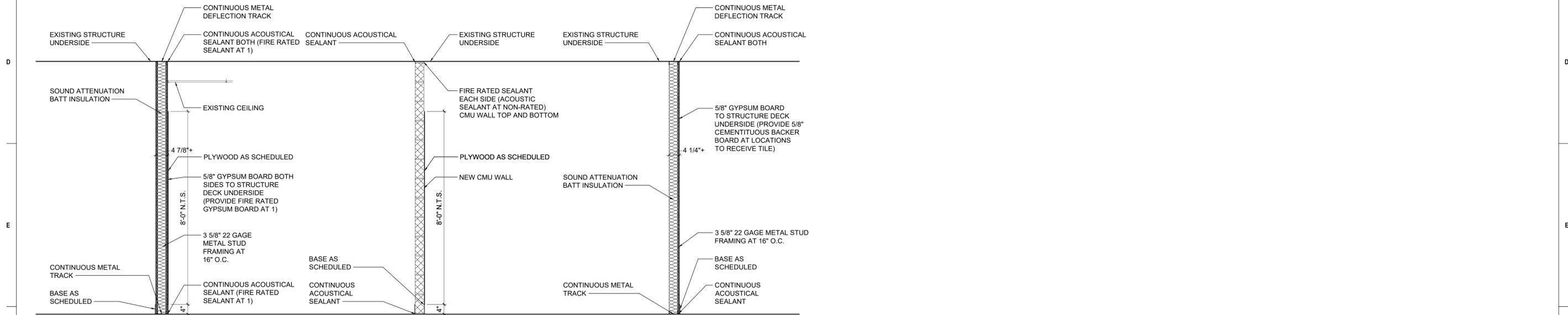
Project Number
539-21-701

Building Number

Drawing Number
AS-530



- X1 EXISTING 4" OR 8" CMU (FIRE RATED)
- X1A EXISTING 4" OR 8" CMU (NON-RATED)
- X1B EXISTING 4" OR 8" CMU GLAZED FACE (NON-RATED)
- X2 EXISTING METAL STUD
- X2A EXISTING METAL STUD (FIRE RATED)
- X2B EXISTING METAL STUD NO PLYWOOD (NON-RATED)
- X2C EXISTING METAL STUD NO PLYWOOD (FIRE RATED)
- X3 EXISTING 4" OR 8" CMU (FIRE RATED)
- X3A EXISTING 4" OR 8" CMU (NON-RATED)
- X3B EXISTING 4" OR 8" CMU PLASTER IN LIEU OF GYPSUM BOARD (NON-RATED)
- X3C EXISTING 4" OR 8" CMU PLASTER IN LIEU OF GYPSUM BOARD (FIRE RATED)
- X4 EXISTING METAL STUD
- X5 EXISTING CONCRETE (NON-RATED)



- 1 3 5/8" STUD (1-HOUR FIRE-RATED, U.L. DESIGN NO. 465)
- 1A 3 5/8" STUD (NON-RATED)
- 2 7/8" FURRING CHANNEL (1-HOUR FIRE RATED) U.L. DESIGN NO. U906 SIM. U.M.(CMU WALL ONLY)
- 3 3 5/8" STUD (NON-RATED TO ABOVE CEILING)
- 3A 3 5/8" STUD (NON-RATED TO STRUCTURE DECK UNDERSIDE)

1 PARTITION TYPES - EXISTING & NEW CONSTRUCTION
N.T.S.

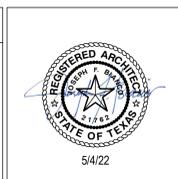
Revisions:	Date:

CONSULTANT

8718 Botts Lane Phone: (210) 816-4784
San Antonio, Texas 78217 Fax: (210) 881-6808
www.hfscpany.com jbianco@hfscpany.com

PROJECT MANAGEMENT

8718 Botts Lane Phone: (210) 816-4784
San Antonio, Texas 78217 Fax: (210) 881-6808
www.hfscpany.com jbianco@hfscpany.com



Construction and Facilities Management

VA U.S. Department of Veterans Affairs

Drawing Title
PARTITION TYPES

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLERED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST., CINCINNATI, OH

Issue Date
4-MAY-2022

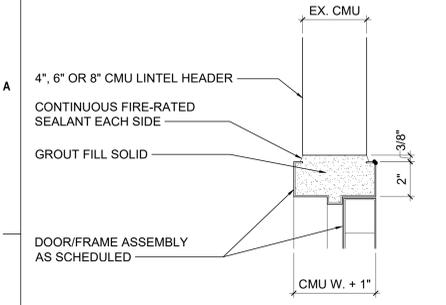
Checked
IAR, JFB

Drawn
IAR

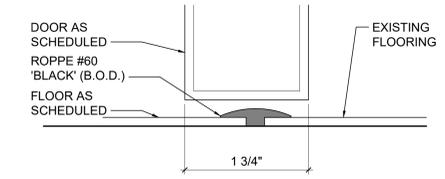
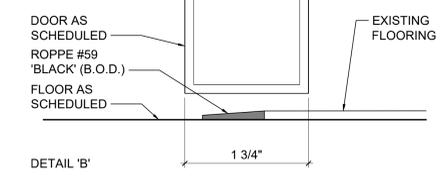
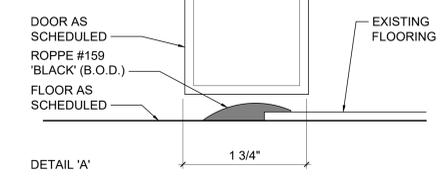
Project Number
539-21-701

Building Number
-

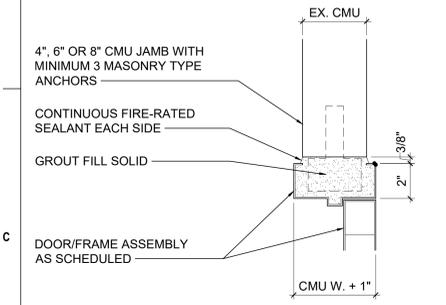
Drawing Number
AS-600



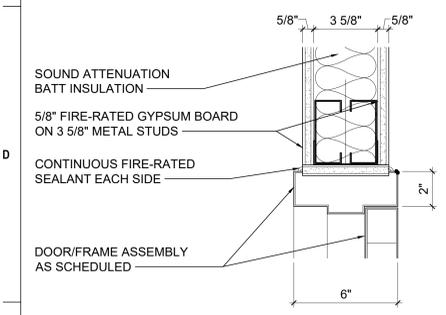
1 DOOR HEAD
SCALE: 3" = 1'-0"



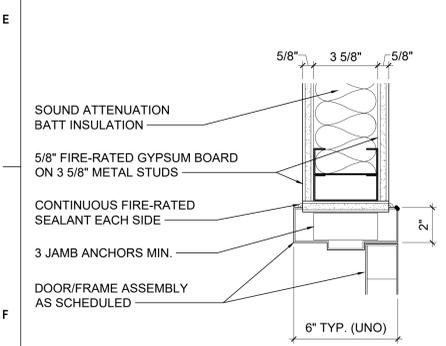
5 DOOR SILL
SCALE: FULL SIZE



2 DOOR JAMB
SCALE: 3" = 1'-0"



3 DOOR HEAD
SCALE: 3" = 1'-0"



4 DOOR JAMB
SCALE: 3" = 1'-0"

Revisions:	Date:

CONSULTANT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com

PROJECT MANAGEMENT

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com

Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com



Construction and Facilities Management

Drawing Title
DOOR & MISCELLANEOUS DETAILS

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLERED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST., CINCINNATI, OH

Issue Date
4-MAY-2022

Checked
IAR, JFB

Drawn
IAR

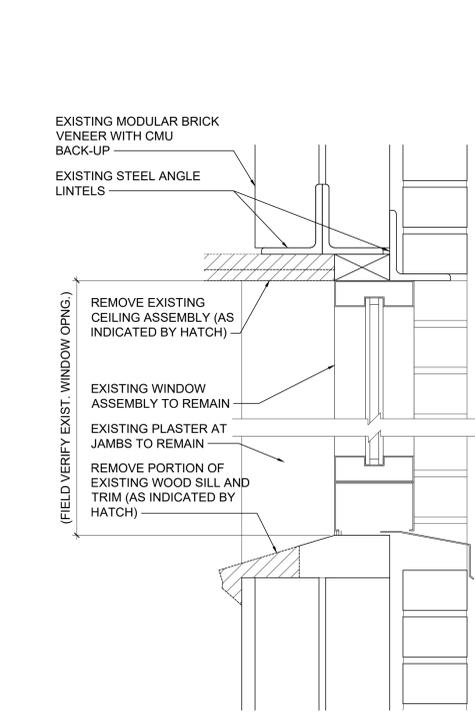
Project Number
539-21-701

Building Number
-

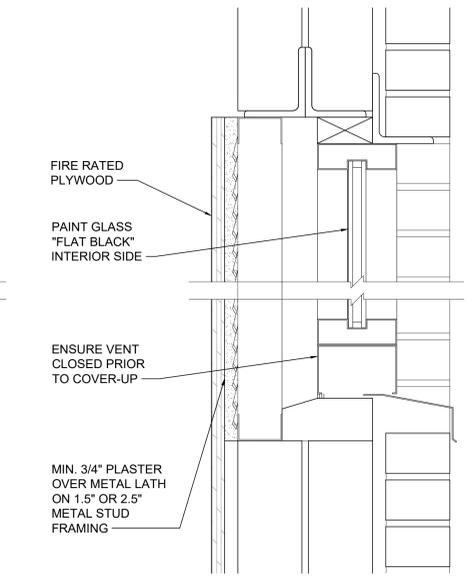
Drawing Number
AS-710

NOTE: 1 1/2" ROUND MILL FINISH ALUMINUM HORIZONTAL RAIL WITH ALUMINUM SUPPORT BRACKETS AT 48" O.C. MAX. FOR WALL MOUNTED HANDRAIL. PROVIDE WOOD BLOCKING IN WALL FOR ATTACHMENT.

8 RAISED FLOOR GUARDRAIL
SCALE: 3" = 1'-0"



DEMOLITION TYPICAL BLDG. 1 (CINCINNATI)



RENOVATION TYPICAL BLDG. 1 (CINCINNATI)
NOTE: USE 5/8" GYPSUM BOARD WHERE GYPSUM BOARD EXIST.

FIRE STOPPING NOTES

- MATERIALS: USE ONLY FIRE STOP PRODUCTS THAT HAVE BEEN UL 1479, ASTM E-814, OR UL 2079 TESTED FOR SPECIFIC FIRE RATE CONSTRUCTION CONDITIONS CONFORMING TO CONSTRUCTION ASSEMBLY TYPE, PENETRATING ITEM TYPE, ANNULAR SPACE REQUIREMENTS, AND FIRE RATING INVOLVED FOR EACH SEPARATE INSTANCE.
- FOR SINGLE PENETRATIONS: A READY-TO-USE LATEX BASED INTUMESCENT SEALANT IS REQUIRED TO MAINTAIN THE FIRE RATING OF THE ASSEMBLY PENETRATED. THE SEALANT MUST HAVE UL LISTING FOR BOTH SLEEVED AND NON-SLEEVED APPLICATIONS.
- FOR LARGE OPENINGS: CONTAINING MULTIPLE PENETRATIONS (2 OR MORE), A READY-TO-USE FOAM INTUMESCENT BLOCK MATERIAL MUST BE ABLE TO BE REMOVED AND REINSTALLED WITHOUT COMPROMISING FIRE PROTECTION INTEGRITY. COMPLY WITH MANUFACTURER'S RECOMMENDED PROCEDURES AND PRECAUTIONS. DO NOT USE DAMAGED OR EXPIRED MATERIALS.
- MANUFACTURERS: JOHNS MANVILLE INTERNATIONAL, 3M BRAND, CSD SEALING SYSTEMS, HILTI, CIBA-SEELY, HEAVY-DUTY/NEALSON. REFER TO DIVISION 7 FOR FURTHER REQUIREMENTS.

FIRE PROTECTION SYMBOLS & ABBREVIATIONS

NOT ALL SYMBOLS ARE USED FOR THIS PROJECT

	AIR VENT (AUTOMATIC)
	DOUBLE CHECK VALVE ASSEMBLY
	DRY PIPE VALVE
	ELECTRONIC SUPERVISED INDICATING VALVE
	FIRE DEPARTMENT VALVE (FDV)
	FLOW SWITCH
	PREACTION VALVE
	PRESSURE RELIEF VALVE
	SOLENOID VALVE
	DRAIN LINE
	DRY PIPE
	FIRE MAIN (BULK)
	SPRINKLER MAIN/BRANCH PIPING
	SPRINKLER PIPING TO BE REMOVED
	DRIP CONNECTION
	FIRE DEPARTMENT CONNECTION-FREE STANDING
	FIRE DEPARTMENT CONNECTION-WALL MOUNT
	FLUSH TYPE FIRE DEPARTMENT INLET CONNECTION
	FIRE PUMP TEST HEADER-WALL MOUNT
	FIRE PUMP TEST HEADER-FREE STANDING
	EXISTING SPRINKLER HEAD
	EXISTING SPRINKLER HEAD TO BE REMOVED
	SPRINKLER HEAD (SEE SCHEDULE FOR TYPE)
	SIDEWALL SPRINKLER HEAD (SEE SCHEDULE FOR TYPE)
	AIR COMPRESSOR
	DOUBLE CHECK VALVE
	DRY PIPE VALVE
	DRY STANDPIPE PIPING
	DRY STANDPIPE VALVE
	FIRE DEPARTMENT CONNECTION
	FIRE DEPARTMENT VALVE
	FIRE EXTINGUISHER CABINET
	FIRE HOSE CABINET
	FIRE PUMP
	FIRE PUMP CONTROLLER
	FIRE PUMP TEST HEADER
	JOCKEY PUMP
	JOCKEY PUMP CONTROLLER
	AUTOMATIC SPRINKLER
	NO AUTOMATIC SPRINKLERS
	POST INDICATOR VALVE
	TAMPER SWITCH

FIRE PROTECTION DEMOLITION NOTES

- ALL PIPING HANGERS AND SUPPORTS SHALL BE REMOVED ALONG WITH THE PIPING.
- PROTECT PIPING WHICH IS NOT TO BE REMOVED FROM DAMAGE, DIRT AND DEBRIS.
- ALL FIRE EQUIPMENT AND MATERIALS NOT CLAIMED BY THE OWNER SHALL BE REMOVED FROM THE PREMISES AND PROPERLY DISPOSED OF BY THE DEMOLITION CONTRACTOR.
- THE CONTRACTOR SHALL PLUG OR CAP ALL PIPING OUTLETS NOT INTENDED FOR REUSE.
- CEILING REMOVAL, STORAGE, AND REPLACEMENT WILL BE MADE BY THE CONTRACTOR AND IT IS THE RESPONSIBILITY OF THIS CONTRACTOR TO REPAIR THE EXISTING SURFACES TO REMAIN WHERE THEIR WORK HAS BEEN COMPLETED. REPAIR INCLUDES BUT SHALL NOT BE LIMITED TO: ANY EXISTING WALL, CEILING, OR FLOOR THAT IS SCHEDULED TO REMAIN, REPAIR, PAINTING, AND PATCHING SHALL BE COMPLETED BY AN APPROPRIATE CONTRACTOR QUALIFIED FOR THIS TYPE OF WORK. IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, THE CONTRACTOR WILL NOTIFY BUILDING OWNER OF THE HAZARDOUS MATERIAL.
- ARCHITECTURAL, TECHNOLOGY, PLUMBING, ELECTRICAL, AND MECHANICAL DEMOLITION DRAWINGS AND SPECIFICATIONS SHALL BE READ IN CONJUNCTION WITH THESE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH PROJECT'S PHASING SCHEDULE PRIOR TO ANY WORK.

HAZARD GROUP AND DENSITY REQUIREMENTS

- TELECOM ROOMS AND DATA ROOMS TO BE PROVIDED WITH A DENSITY OF 0.1 GPM/SQ.FT. OVER THE HYDRAULIC REMOTE 1500 SQ.FT. (LIGHT HAZARD) WITH A HOSE STREAM ALLOWANCE OF 100 GPM.
- STORAGE ROOMS TO BE PROVIDED WITH A DENSITY OF 0.20 GPM/SQ.FT. OVER THE HYDRAULIC REMOTE 1,500 SQ. FT. (ORDINARY HAZARD GROUP 2) WITH A HOSE STREAM ALLOWANCE OF 250 GPM.
- CORRIDORS/ BREAKROOMS/ OFFICES/ AND OTHER ROOMS ALIKE SHALL BE PROVIDED WITH A DENSITY OF 0.10 GPM/ SQ.FT. (LIGHT HAZARD) OVER THE HYDRAULIC REMOTE 1500 SQ.FT. WITH A HOSE STREAM ALLOWANCE OF 100 GPM.

FIRE PROTECTION GENERAL NOTES

- ALL WORK SHALL BE PERFORMED, INSTALLED, AND TESTED IN COMPLIANCE WITH THE CODES AND AMENDMENTS ADOPTED BY THE INSPECTION AUTHORITY. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR OTHERS APPLICABLE TO THIS PROJECT.
 - VA FIRE PROTECTION DESIGN MANUAL VERSION 8
 - 2018-INTERNATIONAL BUILDING CODE (IBC)
 - OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA)
 - NATIONAL FIRE PROTECTION ASSOCIATION EDITIONS LISTED IN THE IBC OR MOST CURRENT EDITIONS OF THE FOLLOWING:
 - NFPA 13
 - NFPA 2001
 - NFPA 75
- THE WORK CONSISTS OF FURNISHING ALL LABOR AND MATERIALS NECESSARY TO INSTALL, COMPLETE AND READY CONTINUOUS OPERATION, THE FIRE PROTECTION SYSTEMS, APPARATUS AND EQUIPMENT FOR THIS PROJECT, AS SHOWN REQUIRED BY THE CONTRACT DOCUMENTS, PLUS AS REQUIRED BY NFPA 13 AND THE AUTHORITY HAVING JURISDICTION (AHJ).
- THE CONTRACTOR SHALL INCLUDE IN THEIR BID, A FULLY CODE COMPLIANT AND COORDINATED SPRINKLER SYSTEM. PROJECT SHALL BE DESIGNED, CONSTRUCTED, AND TESTED PER THE NFPA STANDARDS AND VA FIRE PROTECTION DESIGN MANUAL VERSION 8 REQUIREMENTS.
- ALL SYSTEMS, EQUIPMENT, AND MATERIALS ARE TO BE INSTALLED IN A NEAT WORKMAN LIKE MANNER, WORK NOT DONE SO SHALL BE REMOVED AND REINSTALLED SATISFACTORILY.
- THE FIRE PROTECTION BID IS A DESIGN/BUILD CONTRACT. BEFORE SUBMITTING THE BID, THE CONTRACTOR SHALL VISIT THE SITE AND BECOME THOROUGHLY FAMILIAR WITH ALL EXISTING CONDITIONS AND VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF ALL UTILITIES AT SITE PRIOR TO PROCEEDING WITH WORK. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ASSUMPTIONS, OMISSIONS, OR ERRORS MADE AS A RESULT OF THE FAILURE TO BECOME FULLY FAMILIAR WITH EXISTING CONDITIONS. EXISTING SYSTEMS AND STRUCTURE SHALL BE INVESTIGATED FOR BEST POSSIBLE ROUTING OF FIRE PROTECTION PIPING.
- WHEN PLACING NEW SPRINKLERS AND ROUTING NEW SPRINKLER PIPING, CONTRACTOR SHALL VERIFY LOCATIONS OF POTENTIAL OBSTRUCTIONS FROM MECHANICAL EQUIPMENT AND ARCHITECTURAL FEATURES PRIOR TO BID AND PRICE ACCORDINGLY TO MAKE ALLOWANCES IN BID.
- THE CONTRACTOR SHALL SUBMIT ALL DRAWINGS AND CALCULATIONS TO THE FIRE DEPARTMENT, GOVERNING AGENCIES, AND INSURING AGENCY AND RECEIVE APPROVAL PRIOR TO SUBMITTING DESIGN SHOP DRAWINGS.
- SUBMIT ACCURATE AS-BUILT DRAWINGS TO THE ENGINEER AND OWNER.
- IF THIS CONTRACTOR DOES NOT CLEARLY UNDERSTAND THESE PLANS OR IS NOT COMPLETELY SURE OF THEIR MEANING, THIS CONTRACTOR SHOULD OBTAIN THE ENGINEER'S WRITTEN EXPLANATION AND/OR INTERPRETATION PRIOR TO SUBMITTING BIDS, SINCE THIS CONTRACTOR WILL BE HELD RIGIDLY TO THE INTERPRETATION OF THE ENGINEER.
- THESE PLANS ARE DIAGRAMMATIC IN NATURE SINCE THE ONLY AVAILABLE INFORMATION HAS BEEN OBTAINED FROM EXISTING PLANS, SPECIFICATIONS, AND FIELD SURVEYS. THE EXACT LOCATION OF PIPING AND EQUIPMENT MAY DEVIATE FROM THE LOCATION INDICATED BY THESE DRAWINGS. EXTREME ACCURACY IS NOT GUARANTEED. THIS CONTRACTOR SHALL BE PREPARED TO MAKE ALTERATIONS TO NEW AND/OR EXISTING SERVICES TO JOB CONDITIONS. THIS CONTRACTOR SHALL REPORT, IN WRITING, ANY DISCREPANCIES WHICH PREVENT THE INSTALLATION OF WORK AS SHOWN.
- IT IS ASSUMED THAT AREAS OUTSIDE THE SCOPE OF WORK ARE TESTED, MAINTAINED, AND MEET THE CODE REQUIREMENTS WHEN IT WAS INSTALLED, AND THE EXISTING SYSTEM IS ACCEPTED BY THE LOCAL AHJ. WORK PERFORMED WITHIN SCOPE OF WORK WILL PROVIDE A SYSTEM TO MEET THE REQUIREMENTS SET BY THE AHJ LIMITED BY THE BOUNDARY OF WORK.
- THE SPRINKLER CONTRACTOR PRIOR TO TIME OF BID SHALL EVALUATE THE SITE AND VERIFY ALL SPRINKLER PIPING AND EQUIPMENT THAT IS EXISTING TO REMAIN WITHIN OR SERVING THE SCOPE OF WORK, IS IN GOOD WORKING CONDITION.
- FURNISH AND INSTALL TAMPER SWITCHES ON ALL INDICATING VALVES AND FLOW SWITCHES PER NFPA 13 REQUIREMENTS AND PER THE DESIGN DOCUMENTS BY THE CONTRACTOR.
- THE CONTRACTOR SHALL FURNISH DRAIN VALVES AND INSPECTOR'S TEST CONNECTIONS AS REQUIRED BY NFPA REQUIREMENTS AND AT THE DISCRETION OF THE FIRE MARSHAL, ENGINEER OR GOVERNING AGENCY.
- ALL OPENINGS THROUGH FIRE RATED FLOORS, WALLS, OR PARTITIONS SHALL BE FIRE STOPPED WITH UL RATED ASSEMBLIES OF EQUAL OR GREATER FIRE RATING. REFER TO FIRE STOPPING NOTES FOR ADDITIONAL INFORMATION.
- COORDINATE WITH STRUCTURAL ENGINEER WHEN SAW-CUTTING OR CORE DRILLING HOLES THROUGH CONCRETE FLOOR OR WALL CONSTRUCTION. LEAVE SUFFICIENT REBAR EXPOSED TO THE NEW REINFORCING REPLACEMENT CONCRETE AND/OR OTHER STRUCTURAL ATTACHMENTS FOR NEW CONSTRUCTION.
- VALVES, TAMPER SWITCHES, OR ANY MECHANICAL/ELECTRICAL ITEM SHALL NOT BE LOCATED ABOVE A HARD CEILING, UNLESS PROVIDED WITH EQUIVALENTLY RATED ACCESS AND SIGNAGE MEETING NFPA 13 REQUIREMENTS.
- SPRINKLERS SHALL BE LOCATED IN THE CENTER OF CEILING TILES. COORDINATE FINAL LAYOUT WITH ARCHITECT, AND OTHER DISCIPLINES.
- EXTENDED COVERAGE SPRINKLERS ARE NOT PERMITTED. CONTRACTOR SHALL VERIFY ADDITIONAL PRESSURE REQUIREMENTS IF THIS TYPE IS SELECTED.
- THE SPRINKLER CONTRACTOR SHALL OBTAIN AND UTILIZE THE ARCHITECTURAL REFLECTED CEILING PLAN FOR THE LOCATING OF SPRINKLER HEADS. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR CEILING DEVICE LOCATIONS AND THE SPECIFICATIONS FOR COORDINATION DRAWING REQUIREMENTS.
- PIPING SHALL BE INSTALLED ABOVE FINISHED CEILING ELEVATION TO ALLOW FOR SUITABLE ACCESS ABOVE CEILING.
- INSTALL NO PIPING IN A LOCATION OR MANNER WHICH WILL ALLOW FREEZING.
- COORDINATE PIPE ROUTING NEAR ELECTRICAL EQUIPMENT PER NFPA 70. PIPING IS NOT TO BE ROUTED ABOVE ELECTRICAL PANELS, TRANSFORMERS, COMPUTER RACKS ETC. FIELD VERIFY AND COORDINATE WITH ELECTRICAL CONTRACTOR ALL EXISTING AND NEW ELECTRICAL LOCATIONS PRIOR TO DESIGN OF THE FIRE PROTECTION PLANS.
- ROUTING OF SPRINKLER MAINS, BRANCHLINES, AND HEADS SHALL BE THOROUGHLY COORDINATED WITH ALL OTHER DISCIPLINES AND BUILDING STRUCTURE PRIOR TO SUBMISSION OF COORDINATED SHOP DRAWINGS. THIS IS OF THE UTMOST IMPORTANCE ESPECIALLY WHERE SPACE IS LIMITED. FIRE PROTECTION CONTRACTOR IS RESPONSIBLE FOR COORDINATING, PREPARING, AND SUBMITTING COORDINATION DRAWINGS FOR APPROVAL/REVIEW.
- ADVISE THE ENGINEERS OF ANY CONFLICTS, ERRORS, OMISSIONS, ETC. AT LEAST 10 DAYS PRIOR TO BID DATE, TO ALLOW CLARIFICATION BY WRITTEN ADDENDUM.
- IF SEISMIC BRACING IS REQUIRED, FIRE PROTECTION CONTRACTOR SHALL FURNISH AND INSTALL ALL END OF BRANCH LINE RESTRAINTS PER NFPA 13 SECTION.
- WHEN WORK REQUIRES TEMPORARY INTERRUPTIONS OF FIRE PROTECTION SERVICES OR UTILITIES THE FOLLOWING ACTIONS WILL BE TAKEN:
 - COORDINATION WITH MAINTENANCE PERSONNEL TO SHUT OF SERVICES AT NEAREST MAIN.
 - PROVIDE TEMPORARY AND ACCESSIBLE ISOLATION VALVES CLOSE TO THE POINT OF WORK.
 - ENSURE BUILDING OPERATIONS CONTINUE WITH MINIMAL INTERRUPTIONS AND OPERATION OF EXISTING SYSTEMS BE INTERFACED WITH AS LITTLE DISRUPTION AS POSSIBLE EXCEPT IN VACATED AREAS.
 - WORK INTERFERING WITH OPERATION OF DOWNTIME WILL BE SCHEDULED AFTER CONSULTATION WITH AND PERMISSION GIVEN BY OWNER 10 DAYS PRIOR TO ANTICIPATED INTERRUPTION OF SYSTEMS.
 - SUCH WORK MAY BE REQUIRED TO BE PERFORMED OUTSIDE OF NORMAL WORKING HOURS.
 - REFER TO FIRE WATCH NOTES FOR DISRUPTION OF FIRE SPRINKLER SYSTEMS IN OCCUPIED BUILDINGS WHEN DISRUPTION EXCEEDS 4 HOURS.
- SPRINKLERS INSTALLED WITHIN TELECOM ROOMS AND DATA CENTER ARE TO BE STANDARD RESPONSE TYPE AND PROVIDED WITH PROTECTIVE CAGES.
- REMOVE ALL PORTIONS OF THE BUILDING (CEILING TILES, WALLS, SPRINKLER HEADS, SPRINKLER HEAD ESCUTCHEON, ECT.) AS REQUIRED TO COMPLETE THE SCOPE INDICATED IN THE CONSTRUCTION DOCUMENTS (SEE ARCHITECTURAL, TECHNOLOGY, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS). REPLACE, REINSTALL, OR COORDINATE REINSTALLATION WITH OTHER TRADES FOR ALL ITEMS REMOVED TO ACCOMMODATE THE INSTALLATION/ REMOVALS OF ANY SPRINKLER PIPE, SPRINKLER HEAD, PLUMBING PIPE, FUTURE, EQUIPMENT, OR OTHER TRADES WORK. USING WORKERS QUALIFIED IN THE APPROPRIATE TRADE. REPLACE CEILING TILES DAMAGED WITH THIS WORK TO MATCH, REPAIR WALLS BACK TO THE ORIGINAL FINISH.
- FIRE PROTECTION CONTRACTOR SHALL PROVIDE ONE OF THE FOLLOWING AFTER HOURS OF NORMAL WORK TIME:
 - EXISTING SPRINKLERS WITHIN WORK AREAS.
 - TEMPORARY SPRINKLER PROTECTION THROUGHOUT THE WORK AREA.
 - COMBINATION OF EXISTING SPRINKLER AND TEMPORARY SPRINKLER PROTECTION THROUGHOUT WORK AREA.
 - A FIRE WATCH.
- ANY UNUSED SPRINKLER PIPING WITHIN NEW/ REMODELED TELECOM AND DATA ROOMS SHALL BE REMOVED TO A POINT OUTSIDE OF ROOM AND CAPPED.
- ARCHITECTURAL, TECHNOLOGY PLUMBING, MECHANICAL, AND ELECTRICAL DEMOLITION AND NEW WORK PLANS/ DRAWINGS SHALL BE READ IN CONJUNCTION WITH THESE DRAWINGS.
- SPRINKLERS INSTALLED WITHIN TELECOM ROOMS AND DATA CENTER ARE TO BE STANDARD RESPONSE TYPE AND PROVIDED WITH PROTECTIVE CAGES.

Revisions:	Date:

CONSULTANT

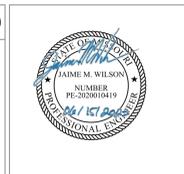
Ross & Baruzzini

6 SOUTH OLD ORCHARD
WEBSTER GROVES, MO. 63119
T: 314.918.8383
F: 314.918.1786

ARCHITECT/ENGINEER OF RECORD

HFS COMPANY

8718 Botts Lane Phone: (210) 816-4784
San Antonio, Texas 78217 Fax: (210) 881-6808
www.hfscopany.com
jblanco@hfscopany.com



Construction and Facilities Management

U.S. Department of Veterans Affairs

Drawing Title
FIRE PROTECTION SYMBOLS AND ABBREVIATIONS

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST. CINCINNATI, OH.

Issue Date
15-JUNE-2022

Checked
JA

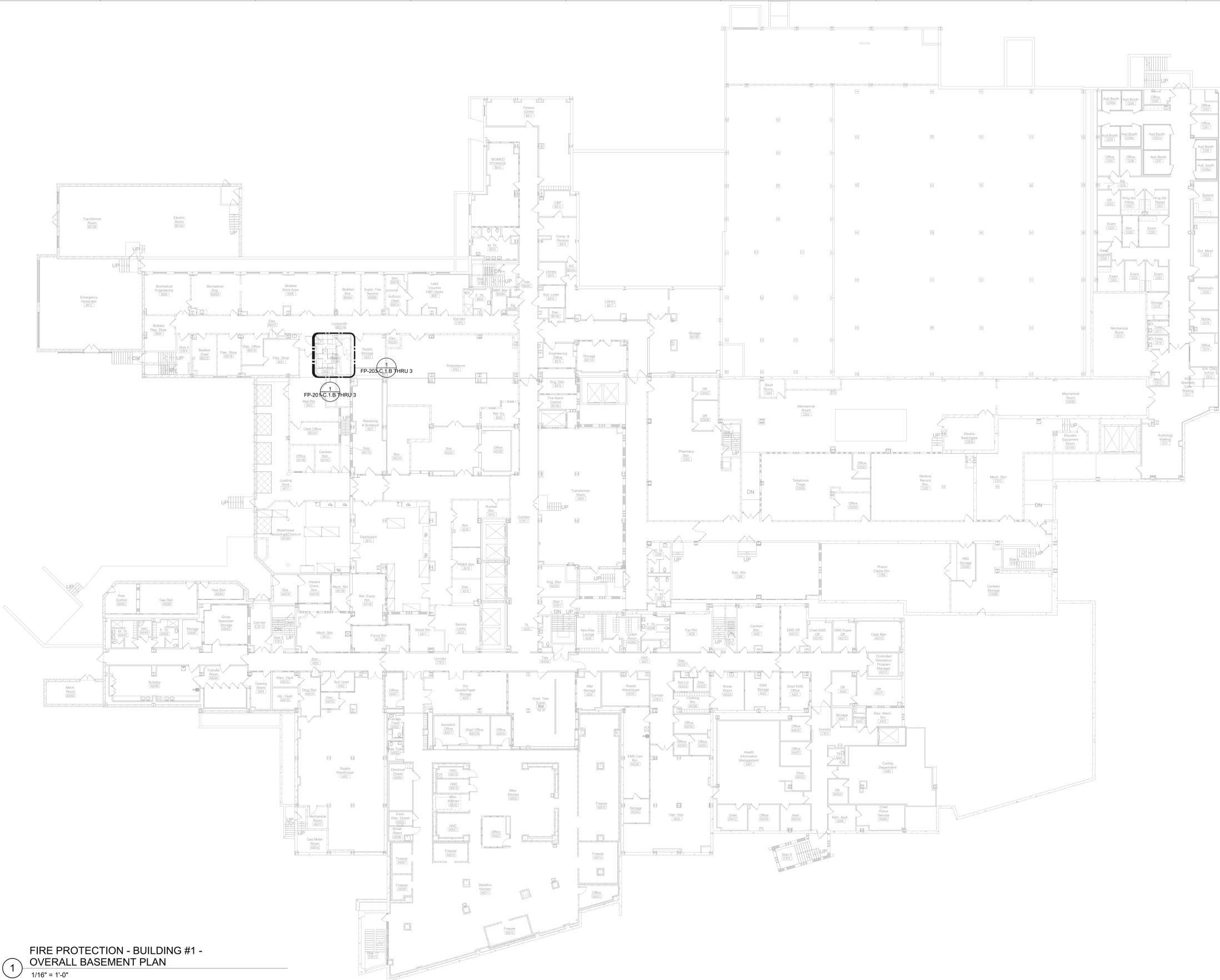
Drawn
DDP

Project Number
539-21-701

Building Number

Drawing Number
FP-000

5/22/2022 4:13:32 PM



1 FIRE PROTECTION - BUILDING #1 - OVERALL BASEMENT PLAN
1/16" = 1'-0"

Revisions:	Date:

CONSULTANT

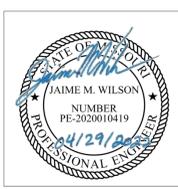
Ross & Baruzzini

6 SOUTH OLD ORCHARD
WEBSTER GROVES, MO 63119
P: 314.918.8383
F: 314.918.1766

ARCHITECT/ENGINEER OF RECORD

HFS
C O M P A N Y

8718 Botts Lane
San Antonio, Texas 78217
www.hfscorporation.com
Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscorporation.com



Construction and Facilities Management

VA U.S. Department of Veterans Affairs

Drawing Title
FIRE PROTECTION BASEMENT OVERALL PLAN

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST. CINCINNATI, OH.

Issue Date
04-MAY-2022

Checked
JA

Drawn
DDP

Project Number
539-21-701

Building Number
1

Drawing Number
FP-110-C.1.B

1 FIRE PROTECTION - BUILDING #1 -
OVERALL FIRST FLOOR PLAN
1/16" = 1'-0"

Revisions:	Date:

CONSULTANT

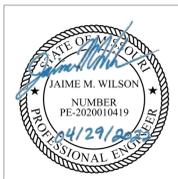
Ross & Baruzzini

6 SOUTH OLD ORCHARD
WEBSTER GROVES, MO 63119
P: 314.918.8383
F: 314.918.1766

ARCHITECT/ENGINEER OF RECORD

HFS
C O M P A N Y

8718 Botts Lane
San Antonio, Texas 78217
www.hfscorporation.com
Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscorporation.com



Construction and Facilities Management

VA U.S. Department of Veterans Affairs

Drawing Title
FIRE PROTECTION FIRST FLOOR OVERALL PLAN

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST. CINCINNATI, OH.

Issue Date
04-MAY-2022

Checked
JA

Drawn
DDP

Project Number
539-21-701
Building Number 1

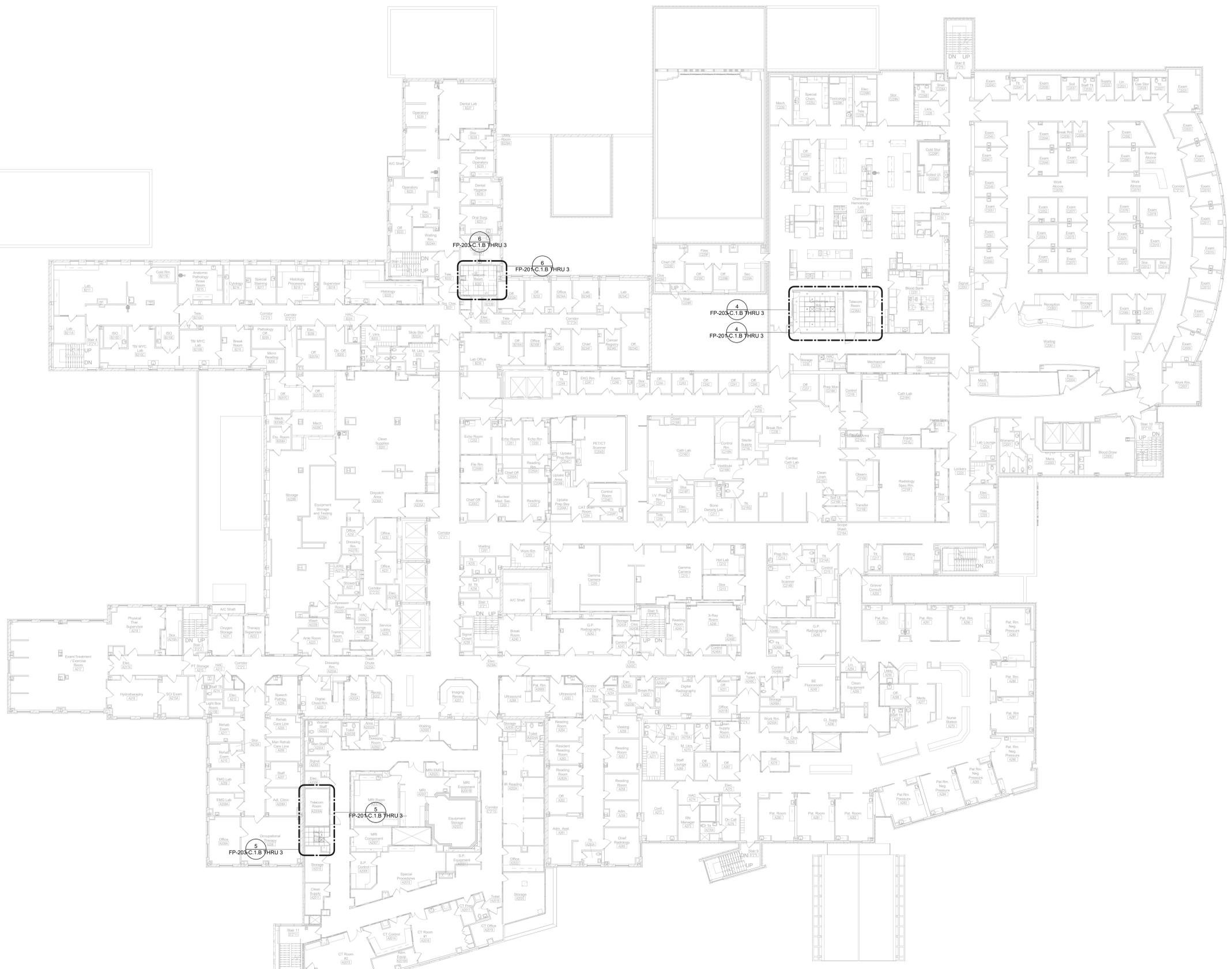
Drawing Number
FP-120-C.1.1

1 2 3 4 5 6 7 8 9 10

4/29/2022 3:11:10 PM

1 FIRE PROTECTION - BUILDING #1 - OVERALL SECOND FLOOR PLAN

1/16" = 1'-0"



4/29/2022 3:11:16 PM

Revisions:	Date:

CONSULTANT

Ross & Baruzzini

6 SOUTH OLD ORCHARD
WEBSTER GROVES, MO 63119
P: 314.918.8383
F: 314.918.1766

ARCHITECT/ENGINEER OF RECORD

HFS

COMPANY

8718 Botts Lane Phone: (210) 816-4784
San Antonio, Texas 78217 Fax: (210) 881-8808
www.hfscorporation.com
jbianco@hfscorporation.com



Construction and Facilities Management

VA U.S. Department of Veterans Affairs

Drawing Title

FIRE PROTECTION SECOND FLOOR OVERALL PLAN

Approved: Project Director

Phase

100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLED

Project Title

CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST. CINCINNATI, OH.

Issue Date
04-MAY-2022

Checked
JA

Drawn
DDP

Project Number

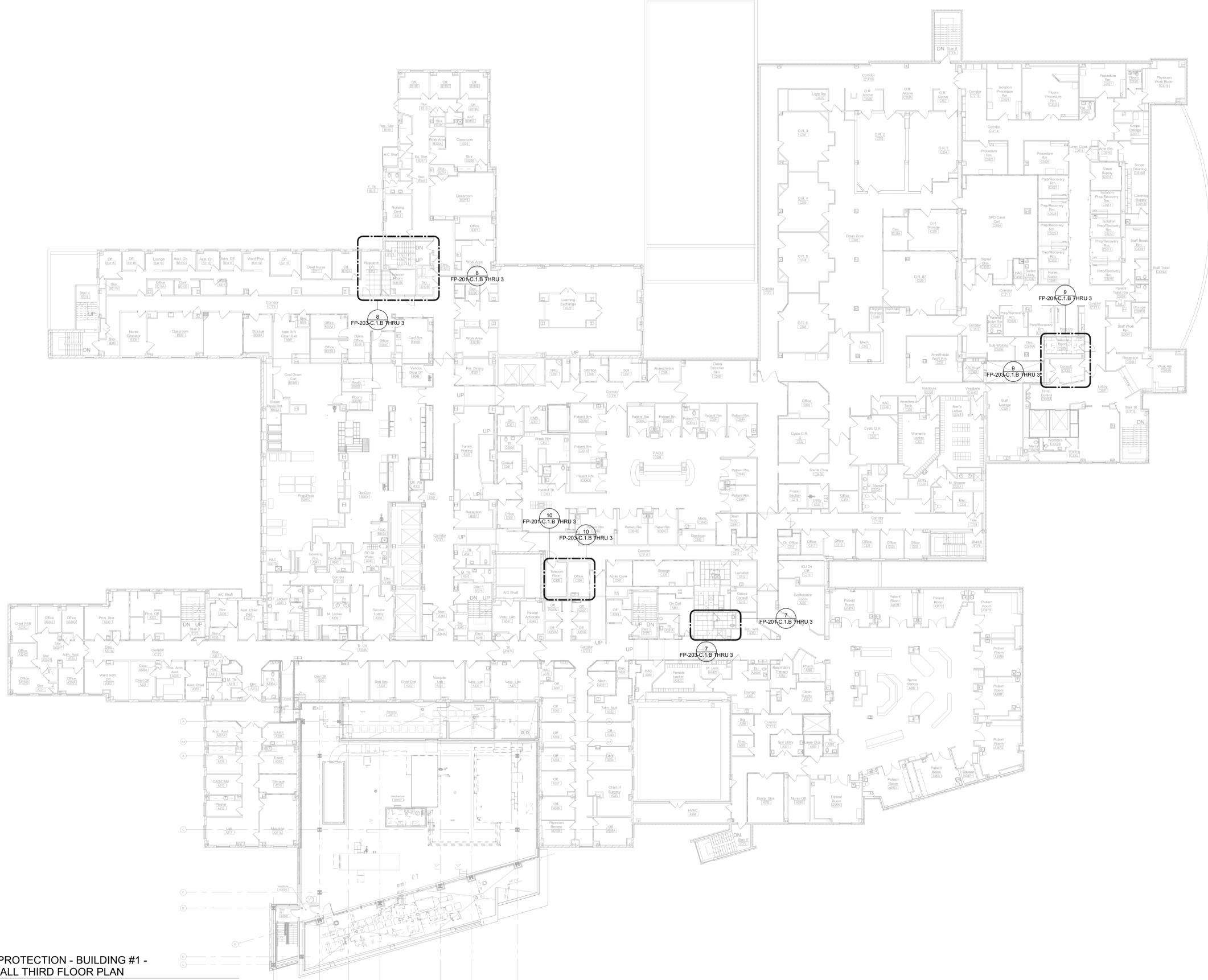
539-21-701

Building Number

1

Drawing Number

FP-130-C.1.2



1 FIRE PROTECTION - BUILDING #1 -
OVERALL THIRD FLOOR PLAN
1/16" = 1'-0"

Revisions:	Date:

CONSULTANT

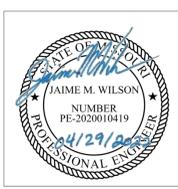
Ross & Baruzzini

6 SOUTH OLD ORCHARD
WEBSTER GROVES, MO 63119
P: 314.918.8383
F: 314.918.1766

ARCHITECT/ENGINEER OF RECORD

HFS
C O M P A N Y

8718 Botts Lane
San Antonio, Texas 78217
www.hfscompany.com
Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscompany.com



Construction and Facilities Management

VA U.S. Department of Veterans Affairs

Drawing Title
FIRE PROTECTION THIRD FLOOR OVERALL PLAN

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST. CINCINNATI, OH.

Issue Date
04-MAY-2022

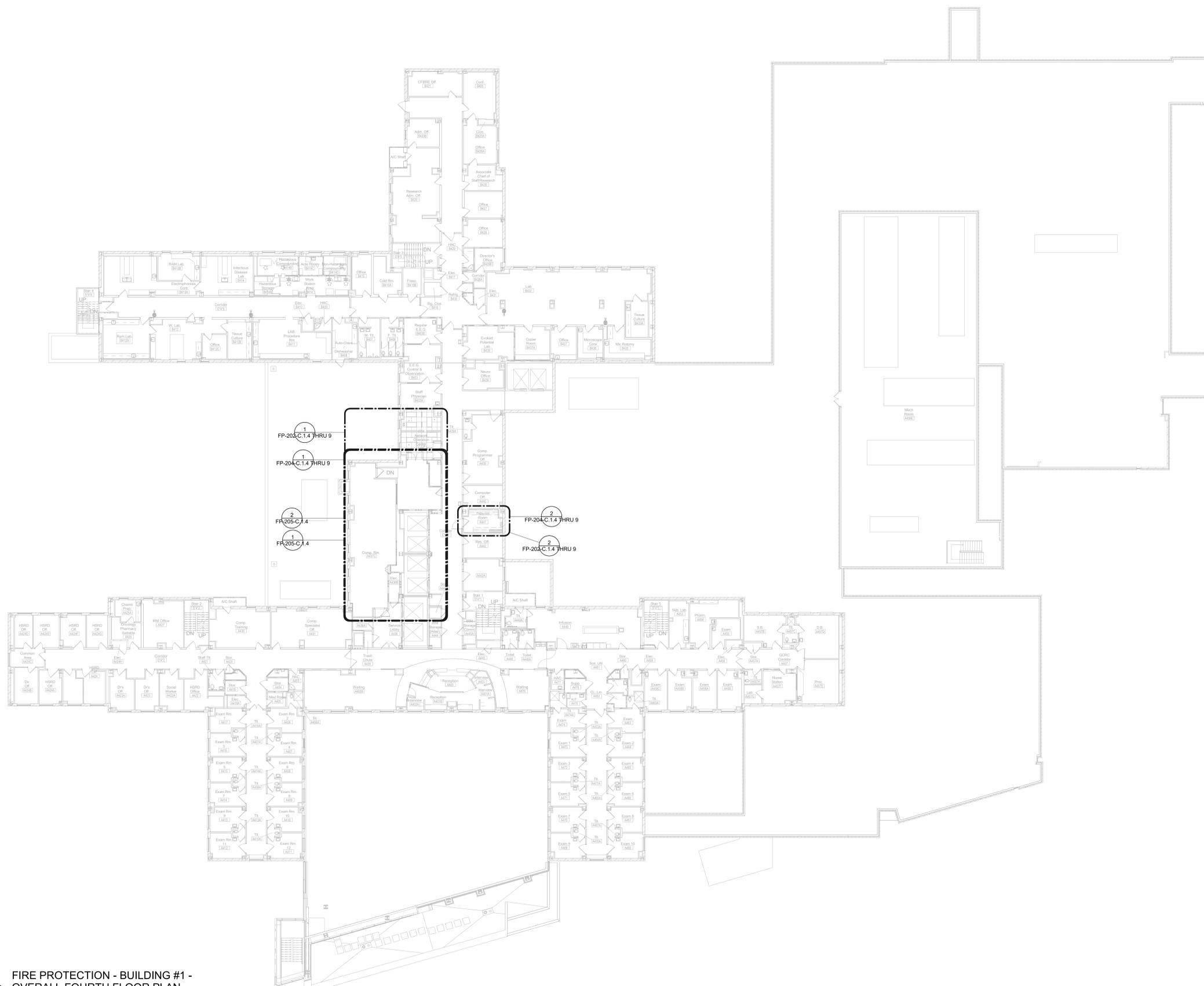
Checked
JA

Drawn
DDP

Project Number
539-21-701

Building Number
1

Drawing Number
FP-140-C.1.3



1 FIRE PROTECTION - BUILDING #1 -
OVERALL FOURTH FLOOR PLAN
1/16" = 1'-0"

4/29/2022 3:11:28 PM

Revisions:	Date:

CONSULTANT

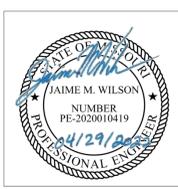
Ross & Baruzzini

6 SOUTH OLD ORCHARD
WEBSTER GROVES, MO 63119
P: 314.918.8383
F: 314.918.1766

ARCHITECT/ENGINEER OF RECORD

HFS
C O M P A N Y

8718 Botts Lane
San Antonio, Texas 78217
www.hfscampny.com
Phone: (210) 816-4784
Fax: (210) 881-6808
jbianco@hfscampny.com



Construction and Facilities Management

VA U.S. Department of Veterans Affairs

Drawing Title
FIRE PROTECTION FOURTH FLOOR OVERALL PLAN

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST. CINCINNATI, OH.

Issue Date
04-MAY-2022

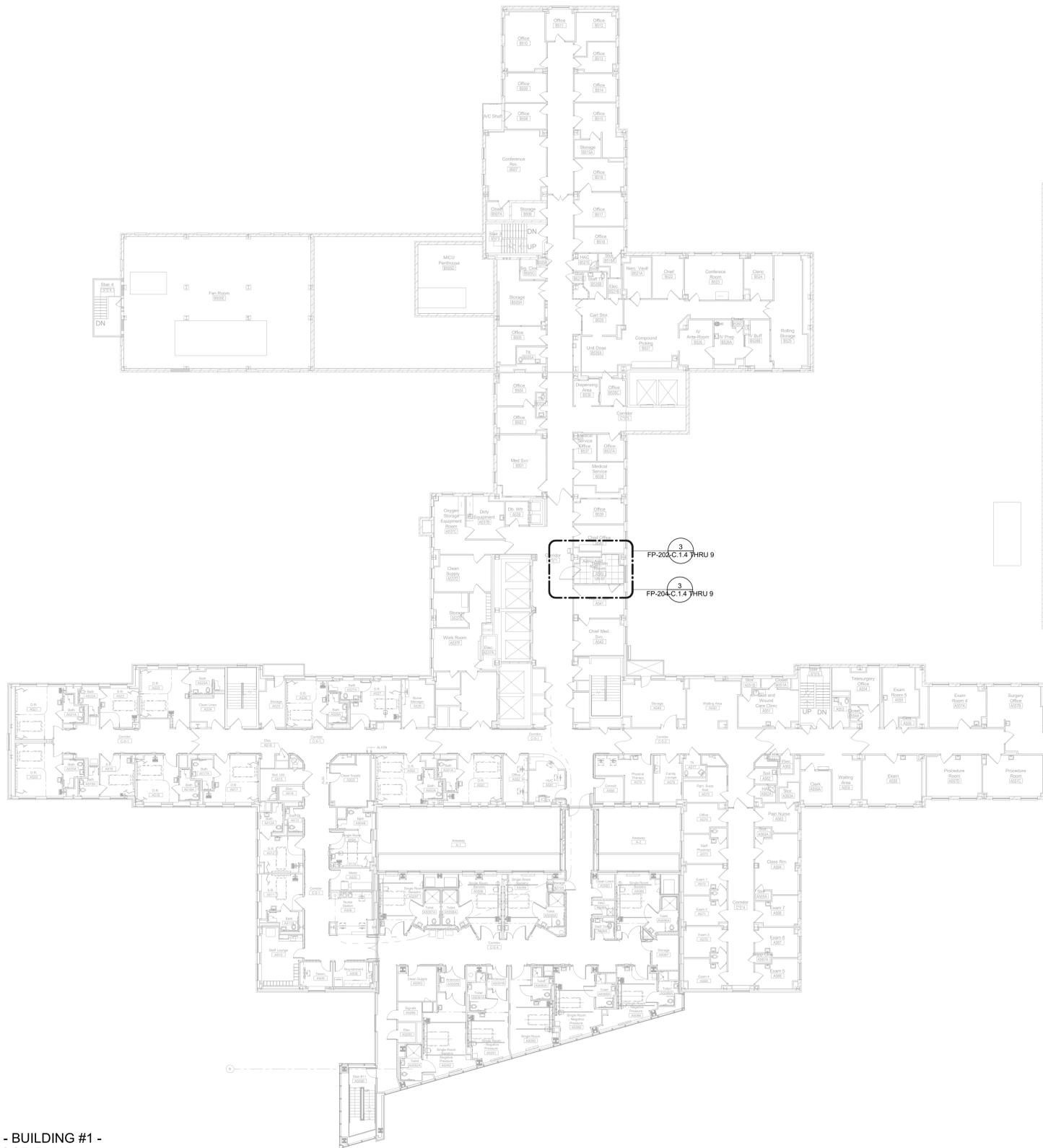
Checked
JA

Drawn
DDP

Project Number
539-21-701

Building Number
1

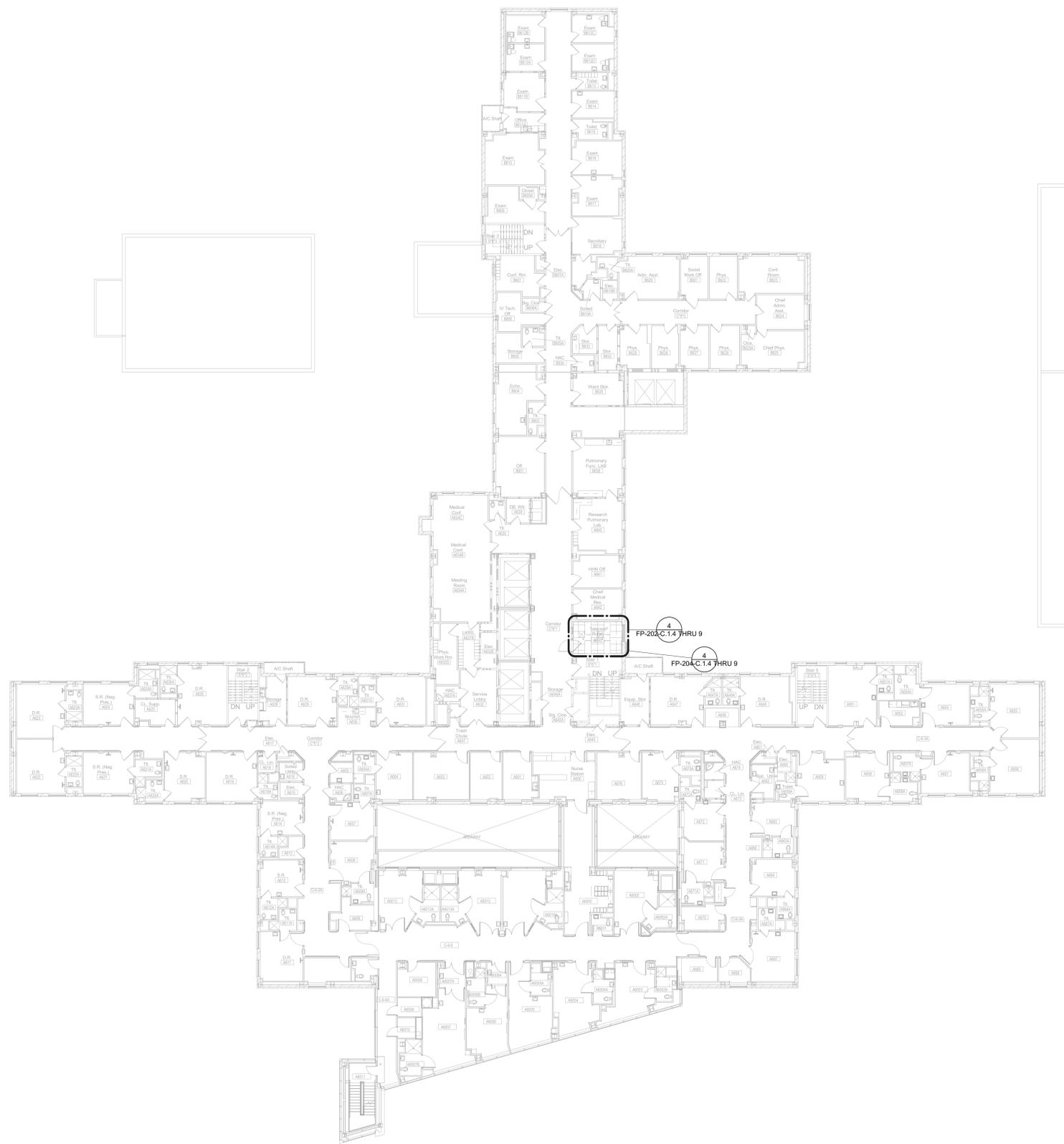
Drawing Number
FP-150-C.1.4



1 FIRE PROTECTION - BUILDING #1 -
OVERALL FIFTH FLOOR PLAN
1/16" = 1'-0"

4/29/2022 3:11:38 PM

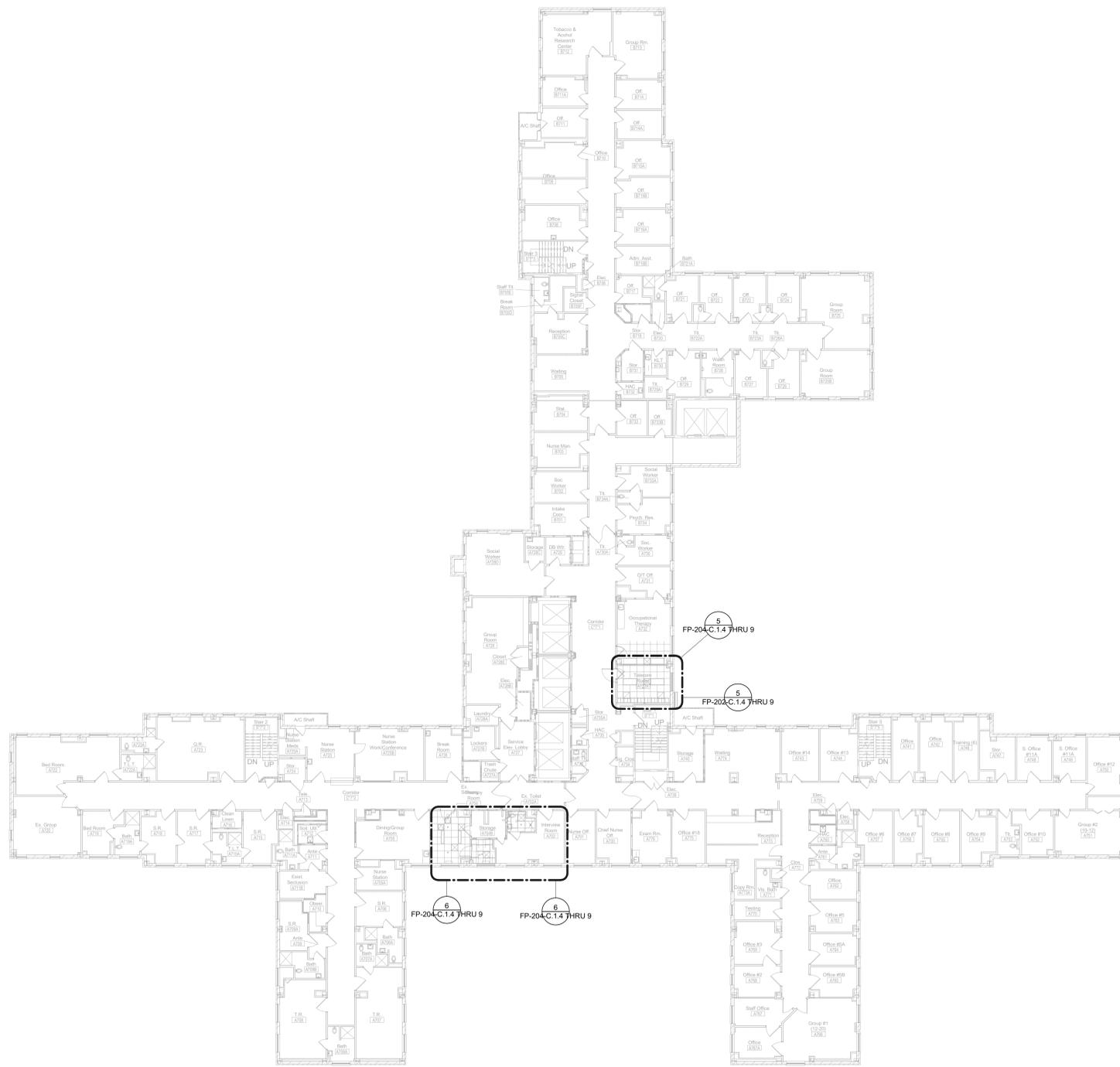
Revisions:	Date:	CONSULTANT	ARCHITECT/ENGINEER OF RECORD		Construction and Facilities Management VA U.S. Department of Veterans Affairs	Drawing Title	Phase	Project Title	Project Number		
		 6 SOUTH OLD ORCHARD WEBSTER GROVES, MO 63119 P: 314.918.8383 F: 314.918.1766	 8718 Botts Lane San Antonio, Texas 78217 www.hfscorporation.com Phone: (210) 816-4784 Fax: (210) 881-6808 jbianco@hfscorporation.com			FIRE PROTECTION FIFTH FLOOR OVERALL PLAN	100% CONSTRUCTION DOCUMENTS	CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES	539-21-701 Building Number 1		
						Approved: Project Director	FULLY SPRINKLED	Location 3200 VINE ST. CINCINNATI, OH.	Drawing Number		
								Issue Date 04-MAY-2022	Checked JA	Drawn DDP	FP-160-C.1.5



1 FIRE PROTECTION - BUILDING #1 -
OVERALL SIXTH FLOOR PLAN
1/16" = 1'-0"

4/29/2022 3:11:43 PM

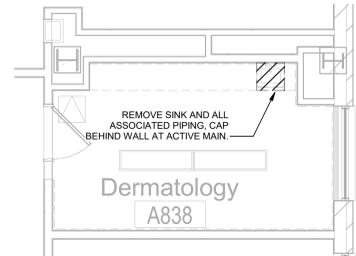
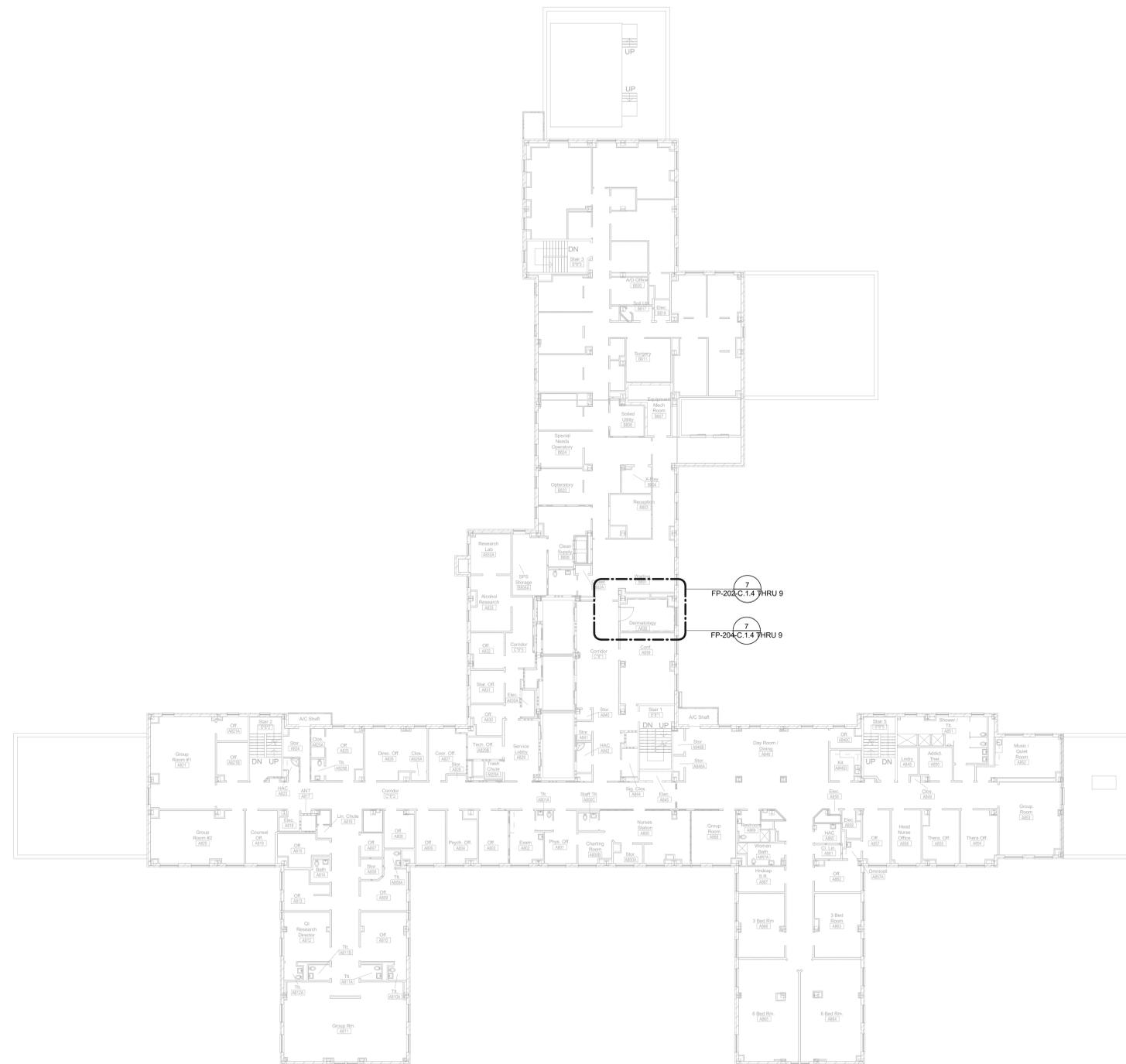
Revisions:	Date:	CONSULTANT Ross & Baruzzini 6 SOUTH OLD ORCHARD WEBSTER GROVES, MO 63119 P: 314.918.8383 F: 314.918.1766	ARCHITECT/ENGINEER OF RECORD HFS C O M P A N Y 8718 Botts Lane Phone: (210) 816-4784 San Antonio, Texas 78217 www.hfscompany.com Fax: (210) 881-6808 jbianco@hfscompany.com		Construction and Facilities Management VA U.S. Department of Veterans Affairs	Drawing Title FIRE PROTECTION SIXTH FLOOR OVERALL PLAN Approved: Project Director	Phase 100% CONSTRUCTION DOCUMENTS FULLY SPRINKLED	Project Title CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES Location 3200 VINE ST. CINCINNATI, OH.	Project Number 539-21-701 Building Number 1
	Issue Date 04-MAY-2022					Checked JA	Drawn DDP	Drawing Number FP-170-C.1.6	



1 FIRE PROTECTION - BUILDING #1 -
OVERALL SEVENTH FLOOR PLAN
1/16" = 1'-0"

4/29/2022 3:11:45 PM

Revisions:	Date:	CONSULTANT	ARCHITECT/ENGINEER OF RECORD		Construction and Facilities Management U.S. Department of Veterans Affairs	Drawing Title	Phase	Project Title	Project Number	
		 6 SOUTH OLD ORCHARD WEBSTER GROVES, MD 63119 P: 314.918.8383 F: 314.918.1766	 8718 Botts Lane San Antonio, Texas 78217 Phone: (210) 816-4784 www.hfscompany.com Fax: (210) 881-6808 jbianco@hfscompany.com			FIRE PROTECTION SEVENTH FLOOR OVERALL PLAN Approved: Project Director	100% CONSTRUCTION DOCUMENTS FULLY SPRINKLED	CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES	539-21-701 Building Number 1	
								Location 3200 VINE ST. CINCINNATI, OH.	Drawing Number FP-180-C.1.7	
								Issue Date 04-MAY-2022	Checked JA	Drawn DDP



DERMATOLOGY ROOM A838 - EIGHTH FLOOR - PLUMBING DEMOLITION PLAN
1/4" = 1'-0"

1 FIRE PROTECTION - BUILDING #1 - OVERALL EIGHTH FLOOR PLAN
1/16" = 1'-0"

Revisions:	Date:

CONSULTANT

Ross & Baruzzini

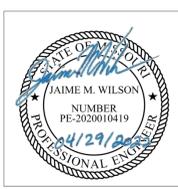
6 SOUTH OLD ORCHARD
WEBSTER GROVES, MO 63119
P: 314.918.8383
F: 314.918.1766

ARCHITECT/ENGINEER OF RECORD

HFS

C O M P A N Y

8718 Botts Lane Phone: (210) 816-4784
San Antonio, Texas 78217 Fax: (210) 881-6808
www.hfscompany.com
jbianco@hfscompany.com



Construction and Facilities Management

VA U.S. Department of Veterans Affairs

Drawing Title
FIRE PROTECTION EIGHTH FLOOR OVERALL PLAN

Approved: Project Director

Phase
100% CONSTRUCTION DOCUMENTS

FULLY SPRINKLED

Project Title
CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES

Location
3200 VINE ST. CINCINNATI, OH.

Issue Date
04-MAY-2022

Checked
JA

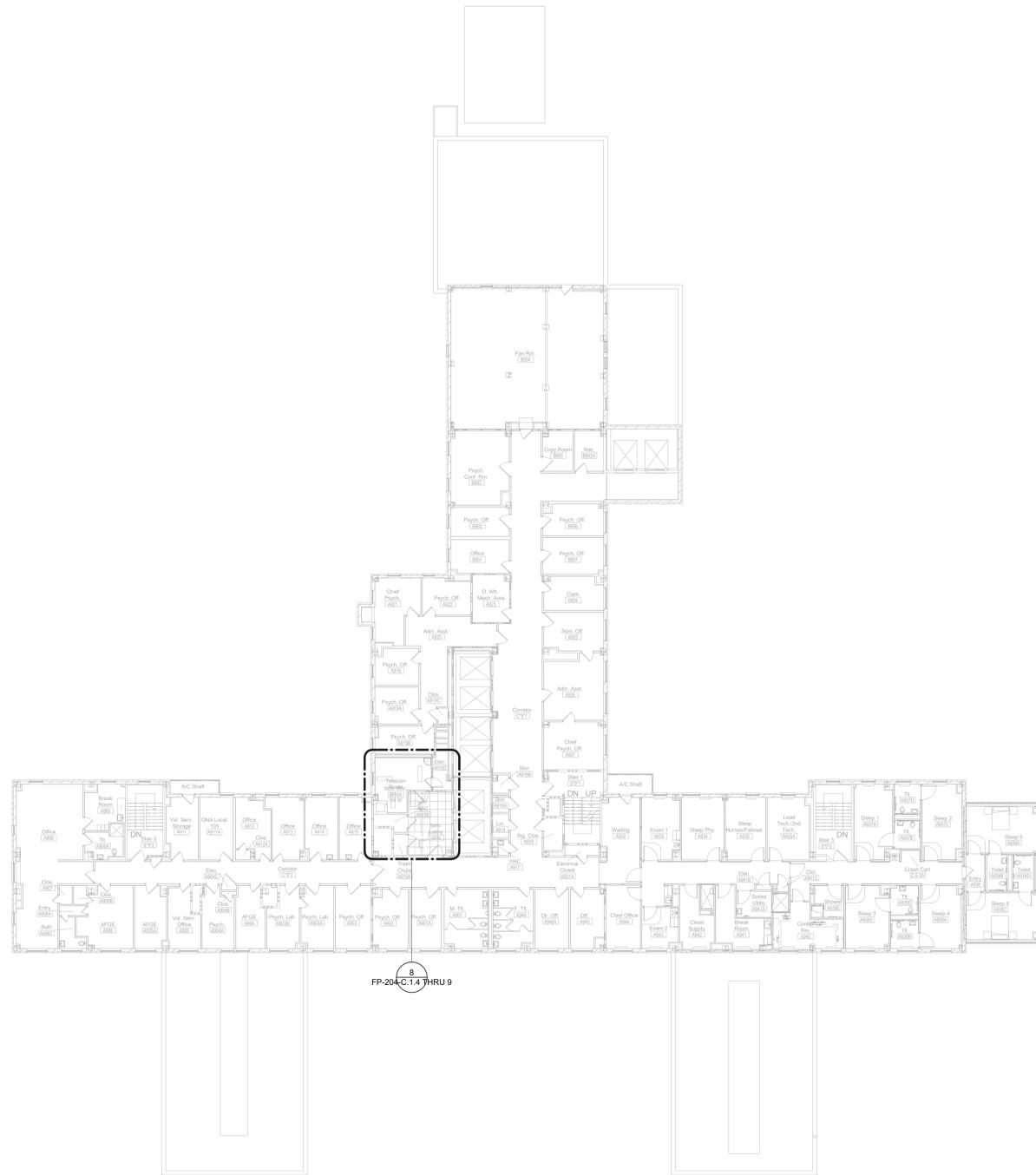
Drawn
DDP

Project Number
539-21-701

Building Number
1

Drawing Number
FP-190-C.1.8

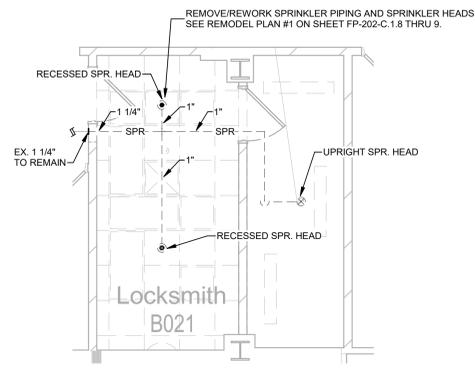
4/29/2022 3:11:47 PM



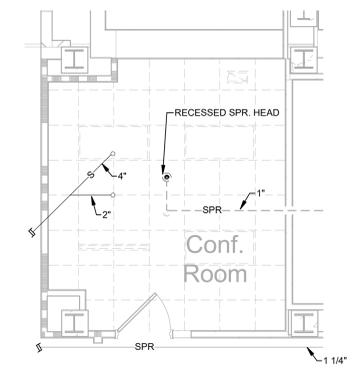
1 FIRE PROTECTION - BUILDING #1 -
OVERALL NINTH FLOOR PLAN
1/16" = 1'-0"

4/29/2022 3:11:49 PM

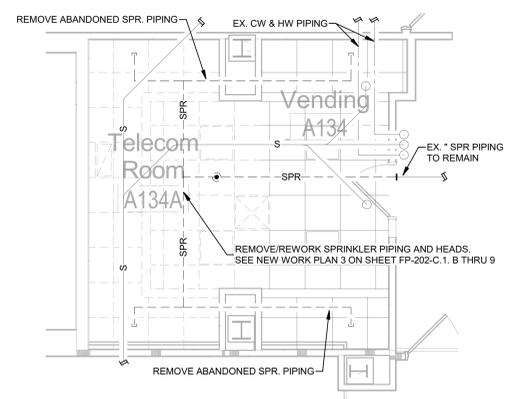
Revisions:	Date:	CONSULTANT		ARCHITECT/ENGINEER OF RECORD			Construction and Facilities Management U.S. Department of Veterans Affairs	Drawing Title	Phase	Project Title	Project Number		
		 6 SOUTH OLD ORCHARD WEBSTER GROVES, MD 63119 P: 314.918.8383 F: 314.918.1766		 8718 Botts Lane San Antonio, Texas 78217 www.hfscompany.com jbianco@hfscompany.com				FIRE PROTECTION NINTH FLOOR OVERALL PLAN	100% CONSTRUCTION DOCUMENTS	CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES	539-21-701 Building Number 1		
								Approved: Project Director	FULLY SPRINKLED	Location 3200 VINE ST. CINCINNATI, OH.	Drawing Number		
										Issue Date 04-MAY-2022	Checked JA	Drawn DDP	FP-200-C.1.9



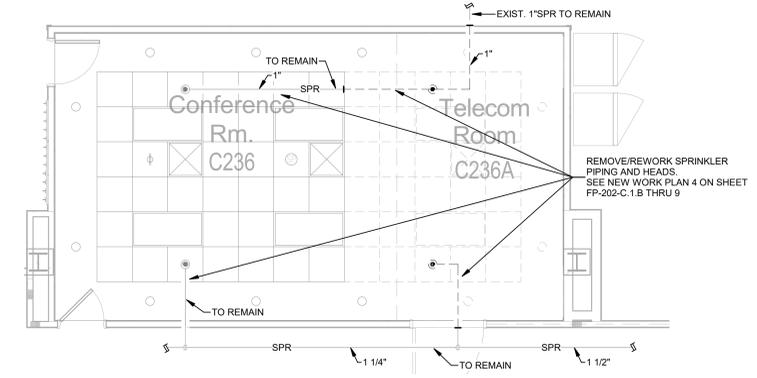
1 LOCKSMITH B021 - BASEMENT FLOOR PLAN - DEMOLITION
1/4" = 1'-0"



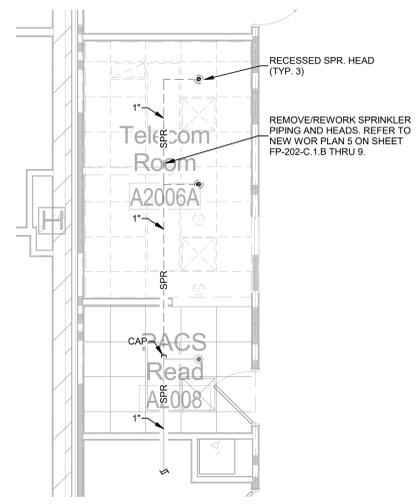
2 CONF. ROOM A144A - FIRST FLOOR PLAN - DEMOLITION
1/4" = 1'-0"



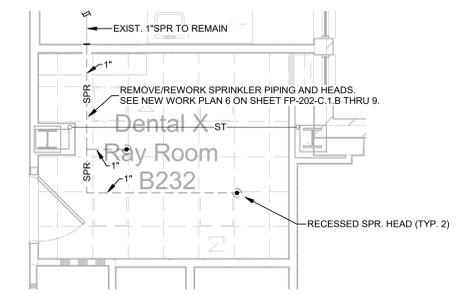
3 VENDING A134 - FIRST FLOOR PLAN - DEMOLITION
1/4" = 1'-0"



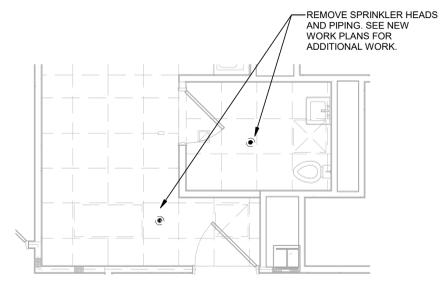
4 CONF. ROOM C236 - SECOND FLOOR PLAN - DEMOLITION
1/4" = 1'-0"



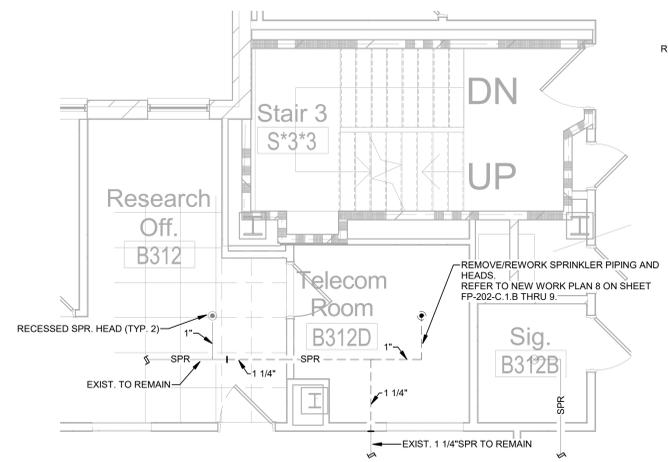
5 PACS READ A2008 - SECOND FLOOR PLAN - DEMOLITION
1/4" = 1'-0"



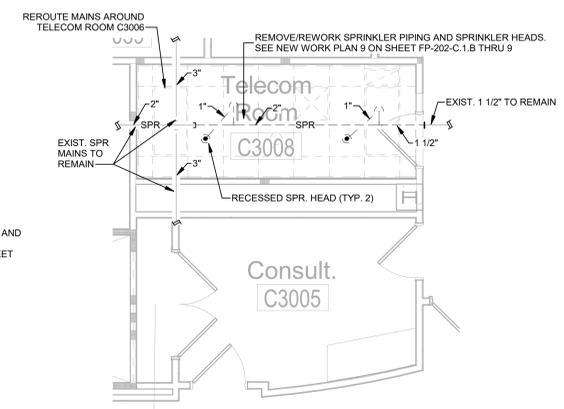
6 DENTAL ROOM B232 - SECOND FLOOR PLAN - DEMOLITION
1/4" = 1'-0"



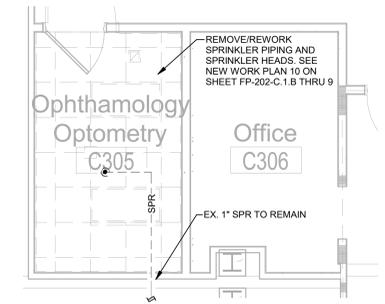
7 FAMILY WAITING C310 - THIRD FLOOR PLAN - DEMOLITION
1/4" = 1'-0"



8 RESEARCH OFFICE B312D - THIRD FLOOR PLAN - DEMOLITION
1/4" = 1'-0"



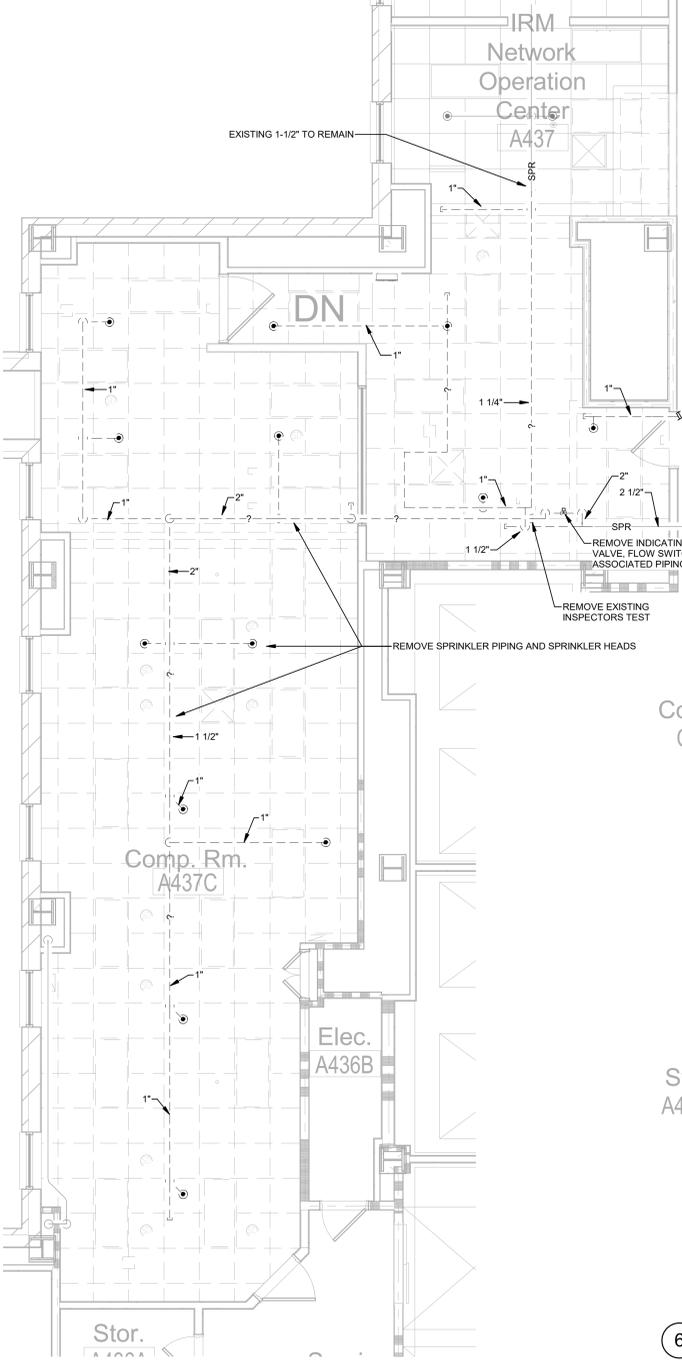
9 TELECOM ROOM C3006 - THIRD FLOOR PLAN - DEMOLITION
1/4" = 1'-0"



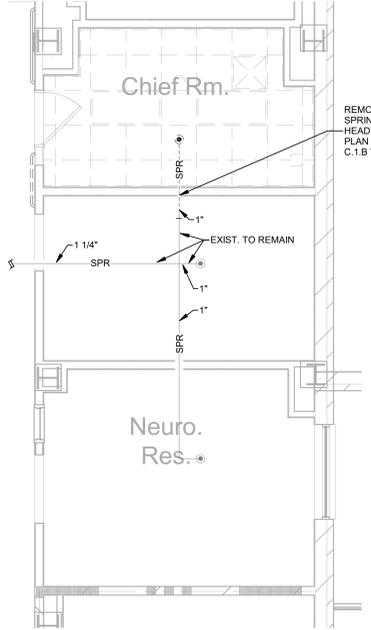
10 OPHTHALMOLOGY ROOM C305 - THIRD LEVEL FLOOR PLAN - DEMOLITION
1/4" = 1'-0"

4/29/2022 3:11:59 PM

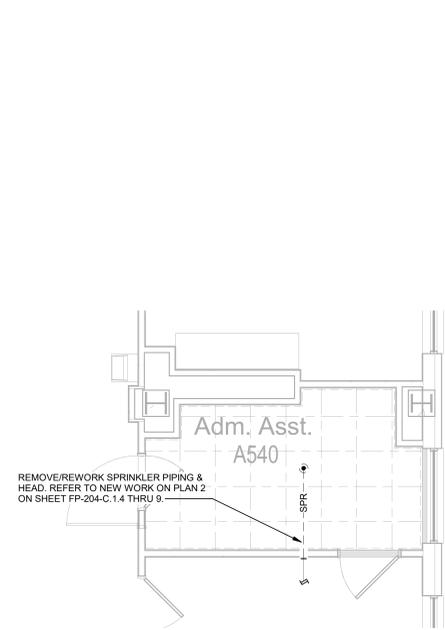
Revisions:	Date:	CONSULTANT	ARCHITECT/ENGINEER OF RECORD		Construction and Facilities Management U.S. Department of Veterans Affairs	Drawing Title	Phase	Project Title	Project Number			
			6 SOUTH OLD ORCHARD WEBSTER GROVES, MD 63119 T: 314.918.8383 F: 314.918.1766			COMPANY 8718 Botts Lane San Antonio, Texas 78217 Phone: (210) 816-4784 www.hfscorporation.com Fax: (210) 881-6808 jbianco@hfscorporation.com	FIRE PROTECTION DEMOLITION ENLARGED PLANS Approved: Project Director	100% CONSTRUCTION DOCUMENTS	CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES	539-21-701 Building Number 1		
						FULLY SPRINKLED		Location	Drawing Number			
								3200 VINE ST. CINCINNATI, OH.	Issue Date 04-MAY-2022	Checked JA	Drawn DDP	FP-201-C.1.B THRU 3



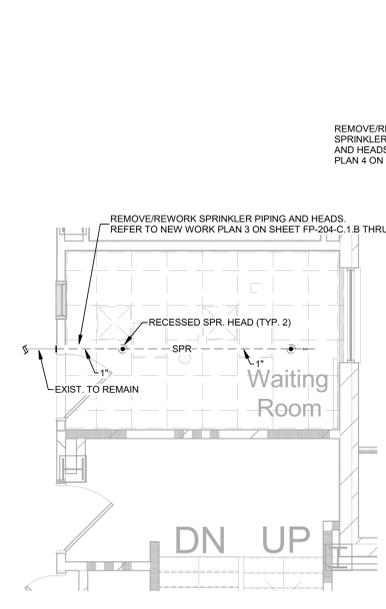
1 CONFERENCE ROOM A437 - FOURTH FLOOR PLAN - DEMOLITION
1/4" = 1'-0"



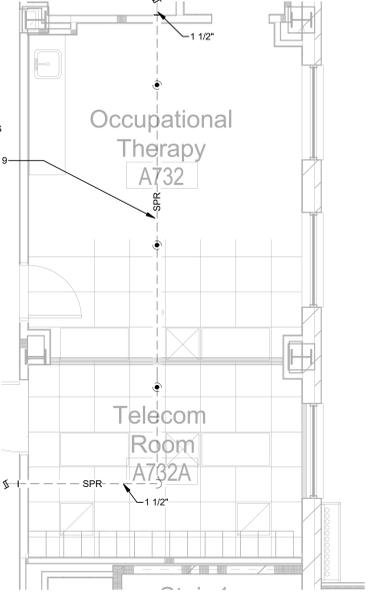
2 A441 - FOURTH FLOOR PLAN - DEMOLITION
1/4" = 1'-0"



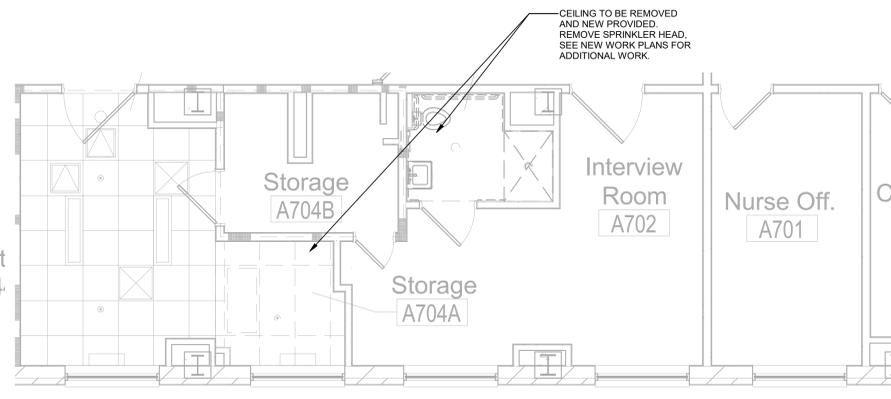
3 ADMIN ROOM A540 - FIFTH FLOOR PLAN - DEMOLITION
1/4" = 1'-0"



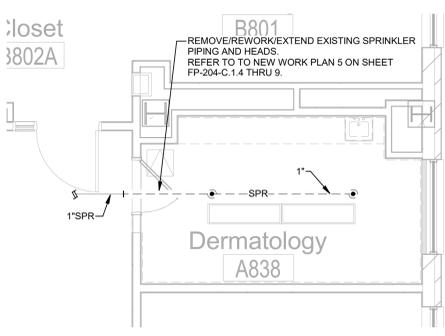
4 WAITING ROOM A643 - SIXTH FLOOR PLAN - DEMOLITION
1/4" = 1'-0"



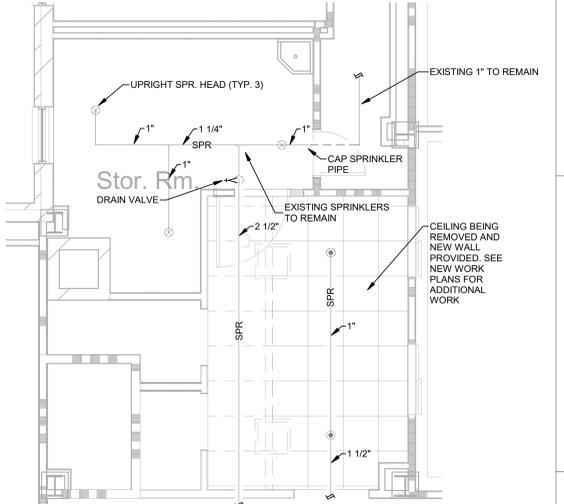
5 OCCUPATIONAL THERAPY ROOM A732 - SEVENTH FLOOR PLAN - DEMOLITION
1/4" = 1'-0"



6 SENSORY THERAPY ROOM A704 - SEVENTH LEVEL FLOOR PLAN - DEMOLITION
1/4" = 1'-0"



7 DERMATOLOGY ROOM A838 - EIGHTH FLOOR PLAN - DEMOLITION
1/4" = 1'-0"



8 STORAGE ROOM A916A - NINTH FLOOR PLAN - DEMOLITION
1/4" = 1'-0"

4/29/2022 3:12:03 PM

Revisions:	Date:	CONSULTANT	ARCHITECT/ENGINEER OF RECORD		Construction and Facilities Management U.S. Department of Veterans Affairs	Drawing Title	Phase	Project Title	Project Number
		 6 SOUTH OLD ORCHARD WEBSTER GROVES, MD 63119 P: 314.918.8383 F: 314.918.1766	 8718 Botts Lane San Antonio, Texas 78217 www.hfscorporation.com Phone: (210) 816-4784 Fax: (210) 881-6808 jbianco@hfscorporation.com			FIRE PROTECTION DEMOLITION ENLARGED PLANS Approved: Project Director	100% CONSTRUCTION DOCUMENTS FULLY SPRINKLED	CINCINNATI VAMC EHRM INFRASTRUCTURE UPGRADES 3200 VINE ST. CINCINNATI, OH. Issue Date: 04-MAY-2022 Checked: JA Drawn: DDP	539-21-701 Building Number Drawing Number FP-202-C.1.4 THRU 9